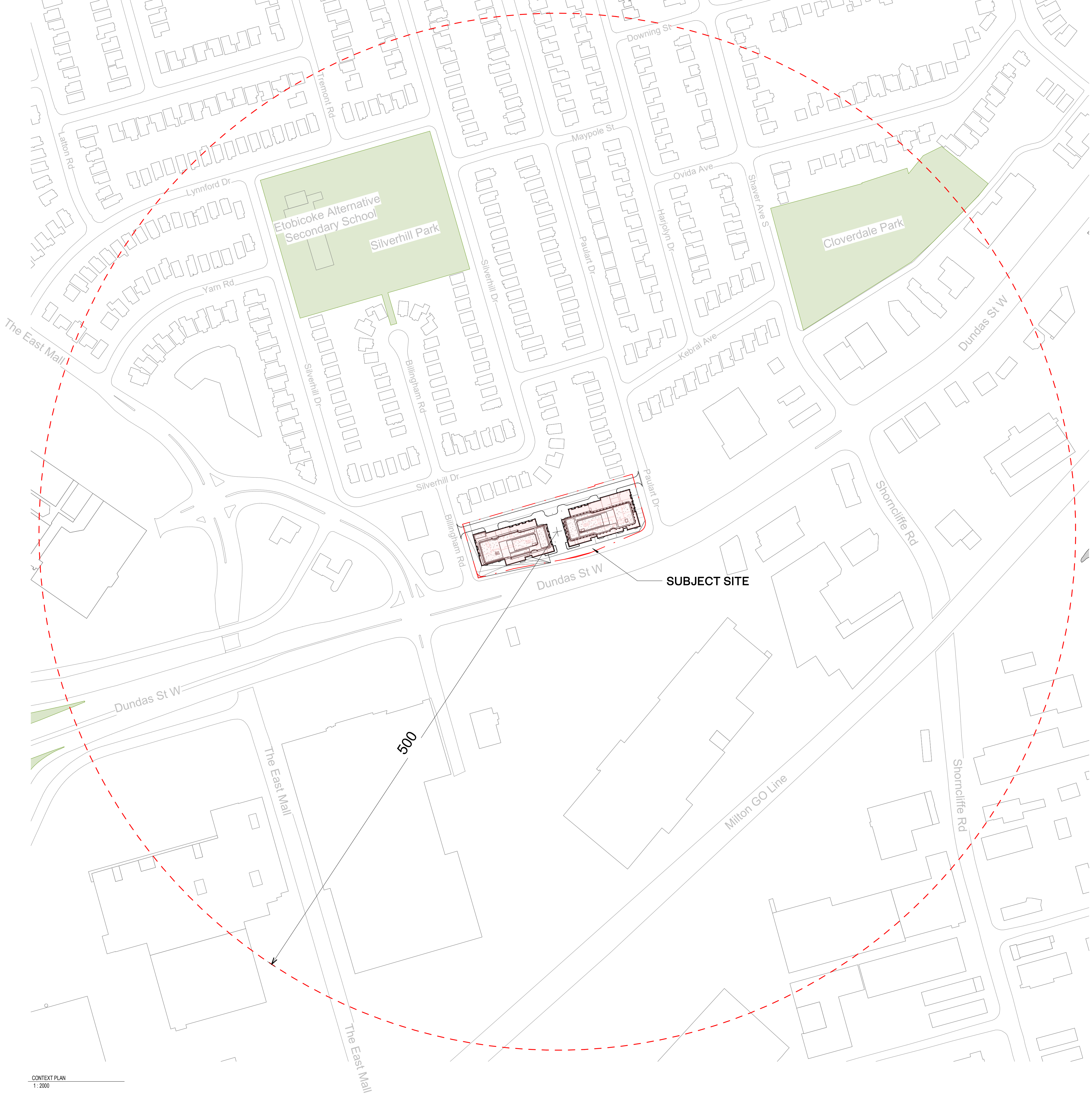


5500 DUNDAS STREET WEST



CLIENTPROJECT ADDRESS

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DRAWING NUMBER	DRAWING TITLE
A 000	Cover Sheet & Drawing List
A 001	Project Statistics
A 002	ZBL - 569-2013 Area Plans
A 003	ZBL - 569-2013 Area Plans
A 009	Perspective Views
A 050	Site Plan
A 100	Parking Level 2
A 101	Parking Level 1
A 102	Floor Plan - Ground Floor
A 103	Floor Plan - Level 02
A 104	Floor Plan - Level 03-04
A 105	Floor Plan - Level 05/Amenity
A 106	Floor Plan - Level 06-14
A 107	Floor Plan - West MPH/ Level 15
A 108	Floor Plan - Level 16
A 109	Floor Plan - East MPH
A 110	Roof Plan
A 200	North Elevation
A 201	South Elevations
A 202	East + West Elevation
A 300	North - South Section
A 301	East - West Section

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- CONTEXT LEGEND
- PARK
 - SUBJECT SITE
 - SUBJECT MASS
 - CONTEXT

120251212ISSUED FOR ZBA

1No. Date Issue/Revision

ONARIO ASSOCIATION
OF
ARCHITECTS
REGISTERED
1906

1

5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
Cover Sheet & Drawing
List

Project No. 2413ScaleAs indicated
Drawing No.

A 000



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	46347.5 m ²
Breakdown of project components (m ²):	
Residential	45350.1 m ²
Retail	997.45 m ²
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	560

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	30	305	1000%
Number of parking spaces with EVSE (residential)	271	271	100%
Number of parking spaces with EVSE (non-residential)	8	12	150%
Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	381	390	102.3%
Number of long-term bicycle parking located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground	381	390	102.3%
d) second level below-ground			
e) other levels below-ground			



Page 1 of 3



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	40	40	100%
Number of shower and change facilities (non-residential)	N/A	N/A	

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m)	1772 m ³	2021.29 m ³	114.07%
Soil volume provided within the site area (m ³)	N/A	1760.75 m ³	N/A
Soil Volume provided within the public boulevard (m ³)	N/A	260.54 m ³	N/A

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below-grade			
Number of publicly accessible bicycle parking spaces			
Number of energized outlets for electric bicycles			

Tree Canopy	Required	Proposed	Proposed %
Total site area (m ²)			
Total Soil Volume (40% of the site area + 66 m ² x 30 m)			
Total number of trees planted			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area			

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50% (m ²))			
Area of non-roof hardscape treated with: (Indicate m ²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			

Page 2 of 3



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

Landscaping & Biodiversity	Required	Proposed	Proposed %
a) shade from high-albedo structures			
e) shade from energy generation structures (non-residential only)			
Total number of plants			
Total number of native plants and % of total plants			
Available Roof Space (m ²)			
Available Roof Space provided as Green Roof (m ²)			
Available Roof Space provided as Cool Roof (m ²)			
Available Roof Space provided as Solar Panels (m ²)			

Bird Collision Deterrence	Required	Proposed	Proposed %
Total area of glazing of all elevations within 16m above grade			
Total area of treated glazing (minimum 85% of total area of glazing within 16m above grade) (m ²)			
Percentage of glazing within 16m above grade treated with:			
a) Visual markers			
b) non-reflective glass			
c) Building integrated structures			

T.G.S GREEN ROOF REQUIREMENTS

Green Roof	Provided
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	53,208.8 m ²
Total Roof Area (m ²)	4,786.0 m ²
Area of Residential Private Terraces (m ²) [Up to Abutting Unit Area]	506.8 m ²
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	1,168.0 m ²
Area of Renewable Energy Devices (m ²)	0.0 m ²
Tower(s) Roof Area with floor plate less than 750m ²	N/A
Total Available Roof Space (m ²)	3,113.2 m ²
Green Roof Coverage	Required Provided
Coverage of Available Roof Space (m ²)	1,867.9 m ² 1,935.5 m ²
Coverage of Available Roof Space (%)	60% 62%

PARKING SUMMARY- BUILDING A + B

Vehicular Parking (Parking Zone B)	Rate	Calculation	Minimum Allowed	Provided	Notes
Per By-Law 569-2013					
Residential Parking					
Occupants	0.5 per unit	(0.5 * 271)		0	271
Barrier Free as defined below				14	15
EV Equipped				0	271
Visitor	0.05 per unit +2	(0.05 * 560)		30	34
Barrier Free as defined below				0	2
EV Equipped	25% of spots	(0.25 * 30)		8	12
Residential Total				30	305
Non-Residential Parking			Minimum Allowed	Provided	
All Uses	1 /100m ²	(1.0 * 10.0)		0	0
Barrier Free as defined below				0	0
EV Equipped	25% of spots	(0.25 * 0)		0	0
Non-Residential Total				0	0
Total Vehicular Parking				30	305
Barrier Free				14	17
EV Equipped				8	283

Barrier Free Parking Requirements - City of Toronto (Parking Zone B)

0.025 * x UNIT COUNT TOTAL	14	Table 200.15.10.5 Bylaw023
Required Number of Barrier Free Occupant Spots	14	

Non - Residential	Rate	Calculation	Minimum Allowed	Notes
	1 /100m ²	(1.0 * 10.0)		0 None Provided
1 if less than 13				0 Parking not provided
13 to 100, 1 per every 25 or part				
> 100 = 5+ 1 for every 50 or part in excess of 100			N/A	
Required Number of Barrier Free Non-Res Spots			0	

* no retail parking spaces provided which precludes required accessible spaces as per section 200.15.10.5 in By-Law 223-2025
* EV Equipped Spaces shall be capable of min level 2 charging per TGS AQ1.2

PROJECT STATISTICS SUMMARY

MUNICIPAL ADDRESS 5500 DUNDAS ST. WEST, TORONTO, ONTARIO

ZONING DESIGNATION

ZBL 569-2013	
GFA BUILDING A	24449.61
GFA BUILDING B	21693.29
GFA A + B TOTAL	46347.54

AREA SUMMARY

Area Summary					
Level	Total GCA	GFA Deductions	Residential	GFA Non-Residential	Total GFA
Below Grade					
P2	7483.16	7389.21	93.96	0.00	93.96
P1	7485.61	7374.92	110.69	0.00	110.69
Building A					
Ground	2393.39	507.22	1388.49	497.68	1886.18
2	2053.83	57.54	1996.29	0.00	1996.29
3	2405.10	39.07	2366.03	0.00	2366.03
4	2405.10	39.07	2366.03	0.00	2366.03
5	1448.38	608.60	839.78	0.00	839.78
6	1417.27	54.03	1363.24	0.00	1363.24
7	1417.27	54.03	1363.24	0.00	1363.24
8	1417.27	54.03	1363.24	0.00	1363.24
9	1417.27	54.03	1363.24	0.00	1363.24
10	1417.27	54.03	1363.24	0.00	1363.24
11	1417.27	54.03	1363.24	0.00	1363.24
12	1416.95	54.03	1362.92	0.00	1362.92
13	1417.27	54.03	1363.24	0.00	1363.24
14	1417.27	54.03	1363.24	0.00	1363.24
15	1417.27	54.03	1363.24	0.00	1363.24
16	1417.27	54.03	1363.24	0.00	1363.24
MPH-EAST	376.33	376.33	0.00	0.00	0.00
Subtotal	26671.77	2222.16	23951.93	497.68	24449.61
Building B					
Ground	2232.63	206.27	1526.60	499.76	2026.36
2	2088.80	54.26	2034.53	0.00	2034.53
3	2265.23	37.88	2227.35	0.00	2227.35
4	2265.23	37.88	2227.35	0.00	2227.35
5	1336.56	573.73	762.83	0.00	762.83
6	1429.00	52.71	1376.30	0.00	1376.30
7	1429.00	52.71	1376.30	0.00	1376.30
8	1429.00	52.71	1376.30	0.00	1376.30
9	1429.00	52.71	1376.30	0.00	1376.30
10	1429.00	52.71	1376.30	0.00	1376.30
11	1429.00	52.71	1376.30	0.00	1376.30
12	1429.00	52.71	1376.30	0.00	1376.30
13	1429.00	52.71	1376.30	0.00	1376.30
14	1429.00	52.71	1376.30	0.00	1376.30
MPH-WEST	349.56	321.35	28.21	0.00	28.21
Subtotal	23399.02	1705.73	21183.52	499.76	21693.29
Project Totals	65039.57	18692.03	45350.10	997.45	46347.54

BICYCLE PROVISIONS

BUILDING A					
Bicycle Parking-Building A	Rate	Calculation	Required	Provided	Location
Per By-Law 569-2013					
Public Bike Spaces (Short-Term)			0	0	
Residential Bike Spaces					
Long-Term	0.68 per unit	(0.68 * 300)	204	209	P1
EV Equipped	15% of spots	(0.15 * 204)	31	34	
Oversized	5% of spots	(0.05 * 204)	11	11	
Not Stacked	40% of spots	(0.40 * 204)	82	93	
Short-Term	0.07 per unit	(0.07 * 300)	21	21	GROUND
Residential Total			225	230	
Non-Residential Bike Spaces (Total Non-Res Space is under 2000m2)					
Long-Term	0.00 /100m ² +3	(0.00 * 5)	0	0	
EV Equipped	15% of spots	(0.15 * 0)	0	0	
Oversized	5% of spots	(0.05 * 0)	0	0	
Not Stacked	40% of spots	(0.40 * 0)	0	0	
Short-Term	0.00 /100m ²	(0.00 * 10)	0	0	
Non-Residential Total			0	0	
Total Bicycle Parking			204	209	P1
Long-Term			31	34	
EV Equipped			11	11	
Oversized			21	21	GROUND
Short-Term			225	230	
Total					

BUILDING B					
Bicycle Parking-Building B	Rate	Calculation	Required	Provided	Notes
Per By-Law 569-2013					
Public Bike Spaces (Short-Term)			0	0	NOT WITHIN 800M OF TRANSIT.
Residential Bike Spaces					
Long-Term	0.68 per unit	(0.68 * 260)	177	181	P1
EV Equipped	15% of spots	(0.15 * 177)	27	30	
Oversized	5% of spots	(0.05 * 177)	9	10	
Not Stacked	40% of spots	(0.40 * 177)	71	81	
Short-Term	0.07 per unit	(0.1 * 260)	19	19	GROUND
Residential Total			196	200	
Non-Residential Bike Spaces (Total Non-Res Space is under 2000m2)					
Long-Term Base Minimum	0.00 /100m ² +3	(0.00 * 5)	0	0	
EV Equipped	15% of spots	(0.15 * 0)	0	0	
Oversized	5% of spots	(0.05 * 0)	0	0	
Not Stacked	40% of spots	(0.40 * 0)	0	0	
Short-Term	0 /100m ²	(0.0 * 10)	0	0	
Non-Residential Total			0	0	
Total Bicycle Parking			177	181	P1
Long-Term			27	30	
EV Equipped			9	10	
Oversized			19	19	GROUND
Short-Term			196	200	
Total					

Bicycle Parking Building A + B	Required	Provided	Notes
Residential Long Term Total	381	390	P1
EV Equipped	50	64	
Oversized	20	21	
Not Stacked	153	174	
Residential Short Term Total	40	40	Ground
Grand Total Building A + B	421	430	

*Site does not fall within 500m of a transit station entrance additional 10 publicly accessible bike parking spaces not required per TGS AQ2.6
*TGS 5.10.1 (3) specifies that if non-residential IFA is 200m2 or less, then no bicycle parking is required

LONG-TERM BICYCLE PARKING NET AREA		
Level	GCA PER FLOOR	LT PARKING SPACE AREA % OF AREA
P1	7,485.6 m ²	300.25 M2 4.01%
	7,485.6 m ²	300.25 M2 4.01%

SITE DENSITY + INFORMATION

GROSS SITE AREA	9,751.46 m ²
LESS: CORNER ROUND + 36M R.O.W. CONVEYANCE)	19.56 m ²
NET SITE AREA	9,731.90 m ²
P.O.P.S. AREA	313.00 m ²
PROPOSED PARKLAND DEDICATION	0.00 m ²
F.S.I = TOTAL GFA / LOT AREA (46347.54 / 9731.90)	4.76
NUMBER OF STORIES ABOVE GRADE	16
ESTABLISHED GRADE	127.02M
BUILDING HEIGHT- BUILDING A	57.3M
BUILDING HEIGHT- BUILDING B	51.1M
PARKING	PARKING ZONE B
BICYCLE	BICYCLE ZONE 2

Residential Units					
Level	Studio	1 BD	2 BD	3 BD	Total Units
Below Grade					
P2	0	0	0	0	0
P1	0	0	0	0	0
Building A					
Ground	0	0	0	9	9
2	0	2	6	2	10
3	1	14	8	2	25
4	1	14	8	2	25
5	0	5	5	1	11
6	3	10	5	2	20
7	3	10	5	2	20
8	3	10	5	2	20
9	3	10	5	2	20
10	3	10	5	2	20
11	3	10	5	2	20
12	3	10	5	2	20
13	3	10	5	2	20
14	3	10	5	2	20
15	3	10	5	2	20
16	3	10	5	2	20
MPH-EAST	0	0	0	0	0
Subtotal	35	145	82	38	300
Building B					
Ground	0	0	0	10	10
2	0	3	8	1	12
3	2	13	6	3	24
4	2	13	6	3	24
5	5	3	2	0	10
6	1	12	5	2	20
7	1	12	5	2	20
8	1	12	5	2	20
9	1	12	5	2	20
10	1	12	5	2	20
11	1	12	5	2	20
12	1	12	5	2	20
13	1	12	5	2	20
14	1	12	5	2	20
MPH-WEST	0	0	0	0	0
Subtotal	18	140	67	35	260
Proposed Unit Mix					
	53	285	149	73	560
	9%	51%	27%	13%	
Average Unit Size (m²) (#)	41.93	56.96	74.42	104.28	69.37
	450	613	801	1122	2487

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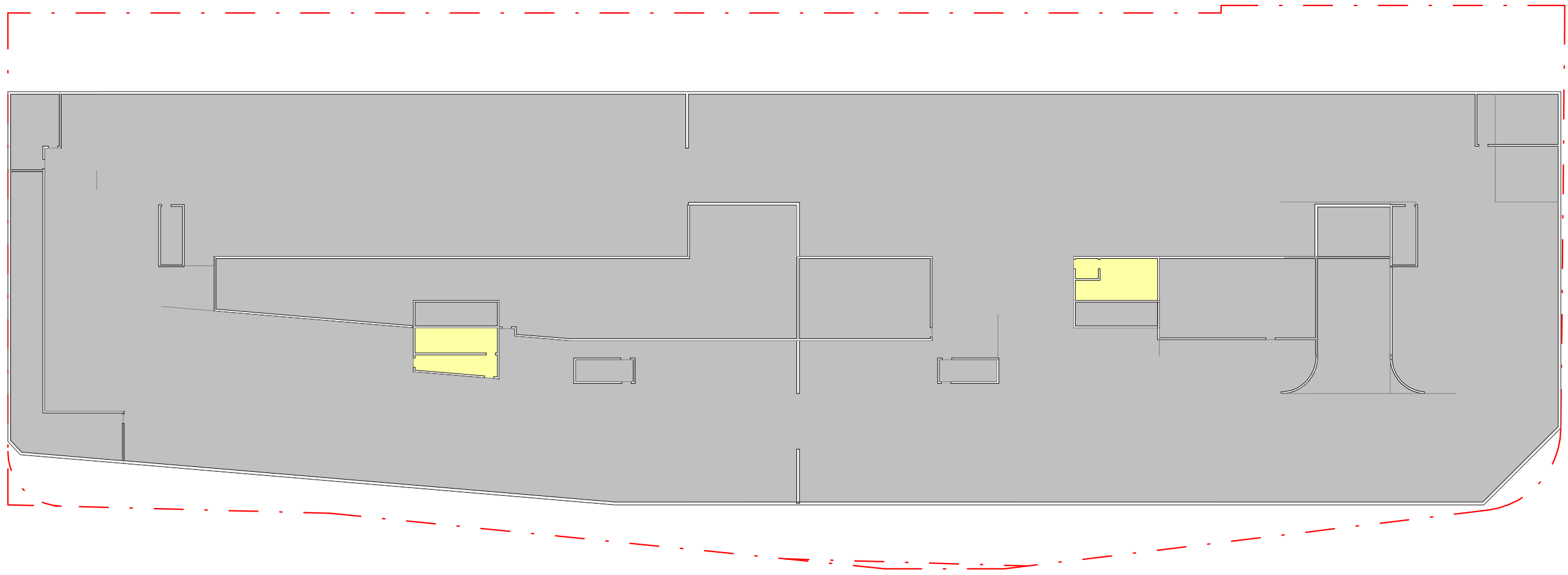
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LEGEND	
	GFA BY LAW 569-2013
	GFA EXCLUSIONS BY LAW 569-2013
	PROPERTY BOUNDARY

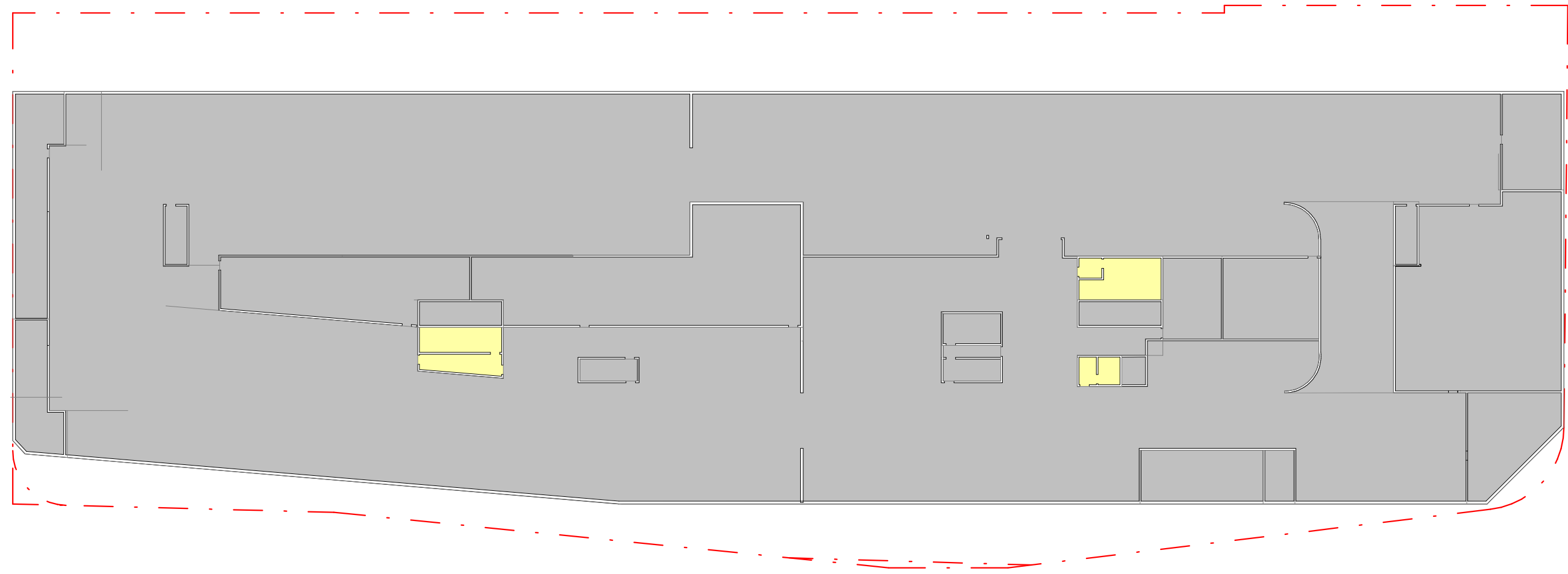
BY LAW 569-2013
GROSS FLOOR AREA CALCULATIONS FOR A MIXED USE BUILDING
IN THE COMMERCIAL RESIDENTIAL ZONE CATEGORY

In the Commercial Residential Zone category the gross floor area of a mixed use building is reduced by the area in the building used for:

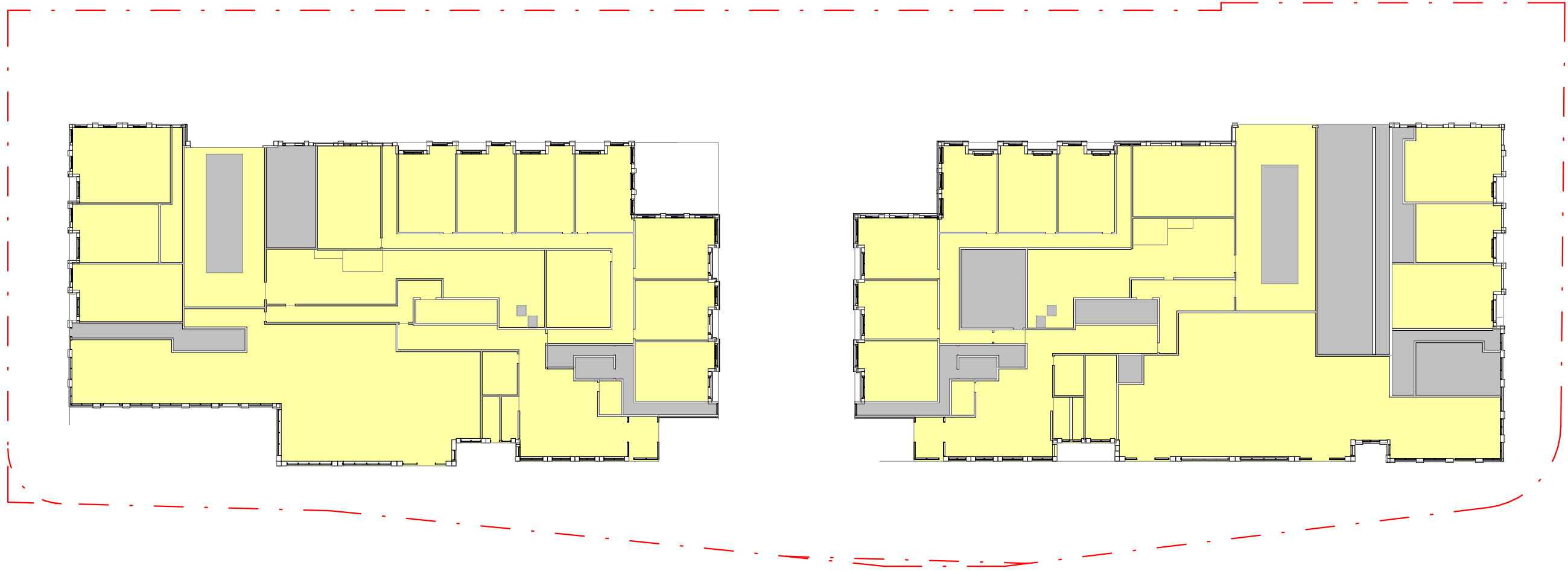
- A. parking, loading and bicycle parking below ground;
- B. required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
- C. storage rooms, mechanical, electrical, utility, mechanical and ventilation rooms in the basement;
- D. showers and change facilities required by the By-law for required bicycle parking spaces;
- E. assembly spaces required by the By-law;
- F. elevator shafts;
- G. garbage chutes;
- H. mechanical penthouses; and
- I. roof stairwells in the building.



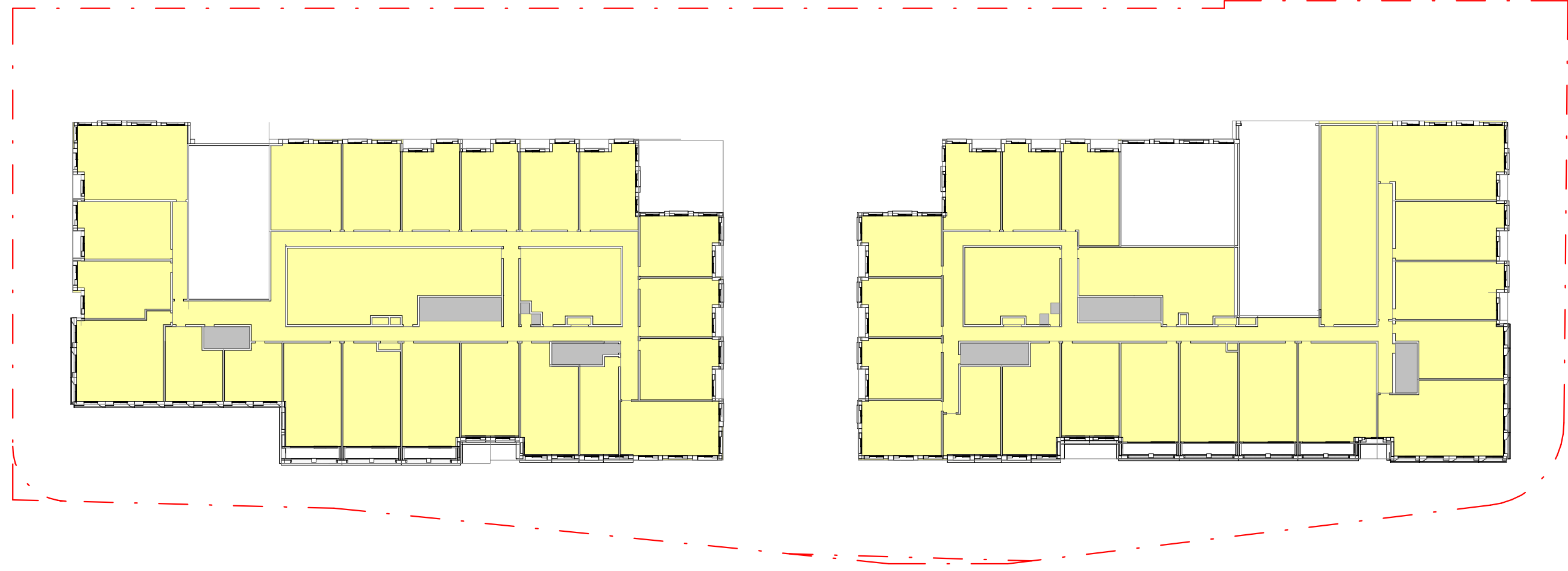
P1 - Parking
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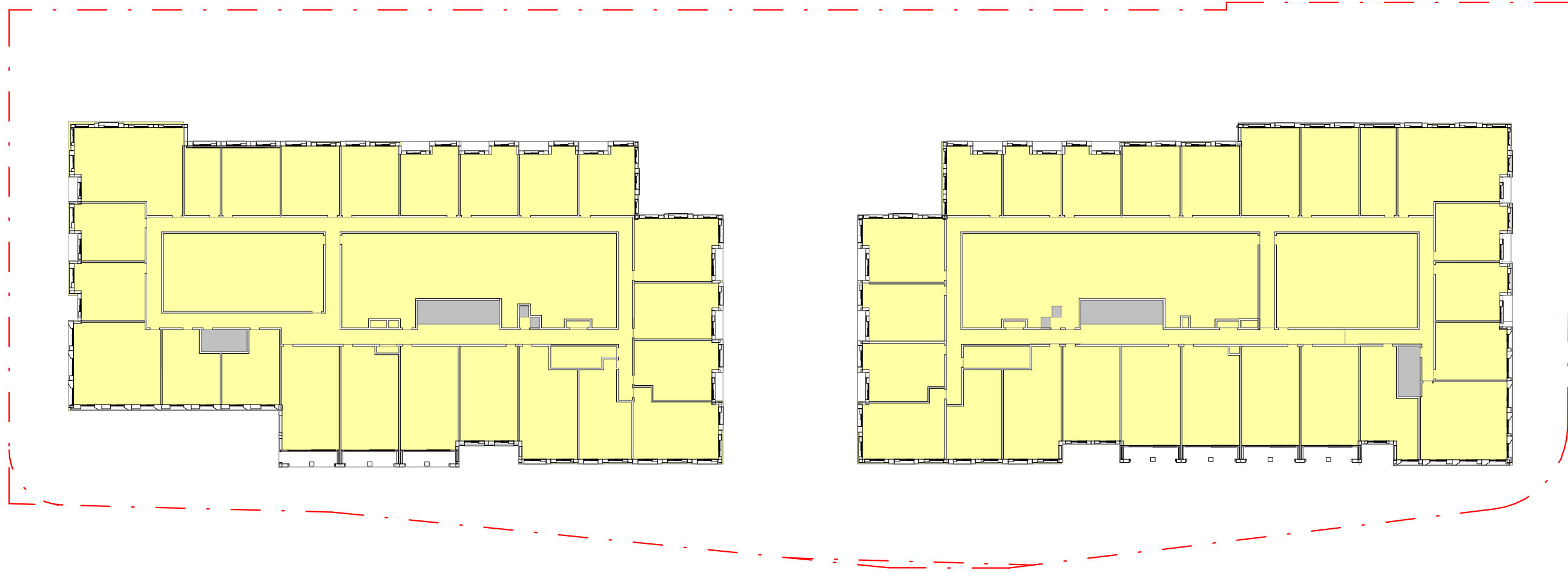
P1 - Parking
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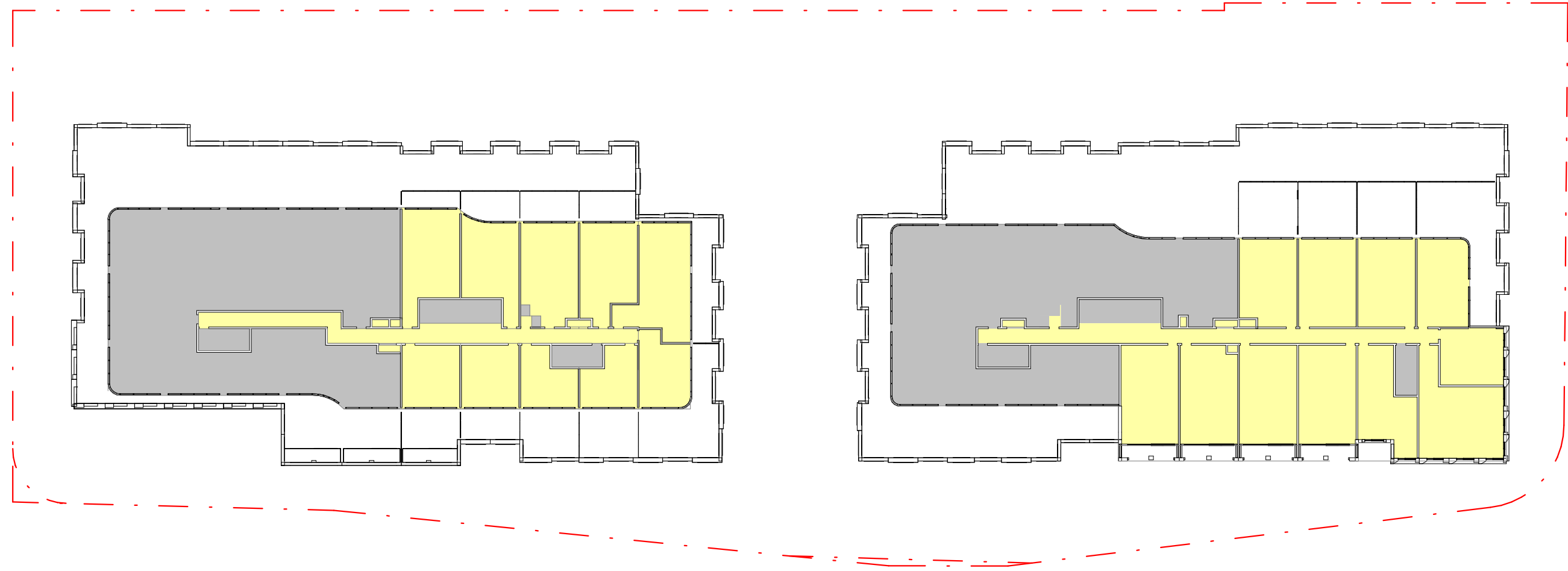
Ground Floor
1:500



G01 - Podium
1:500



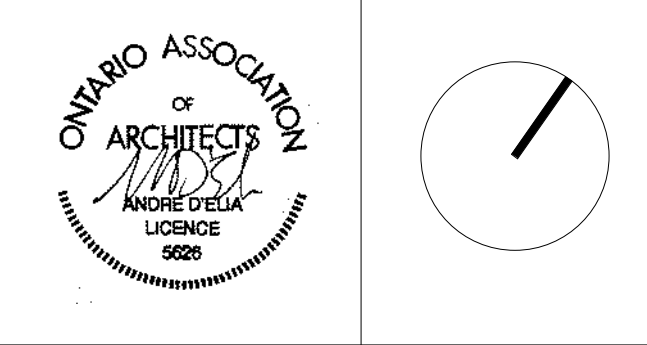
G01-G1 - Podium
1:500



G01 - Atrium
1:500

1 2025.12.12 ISSUED FOR ZBA

No. Date Issue/Revision



5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
ZBL - 569-2013 Area
Plans

Project No. 2413 Scale As indicated

Drawing No.

A 002

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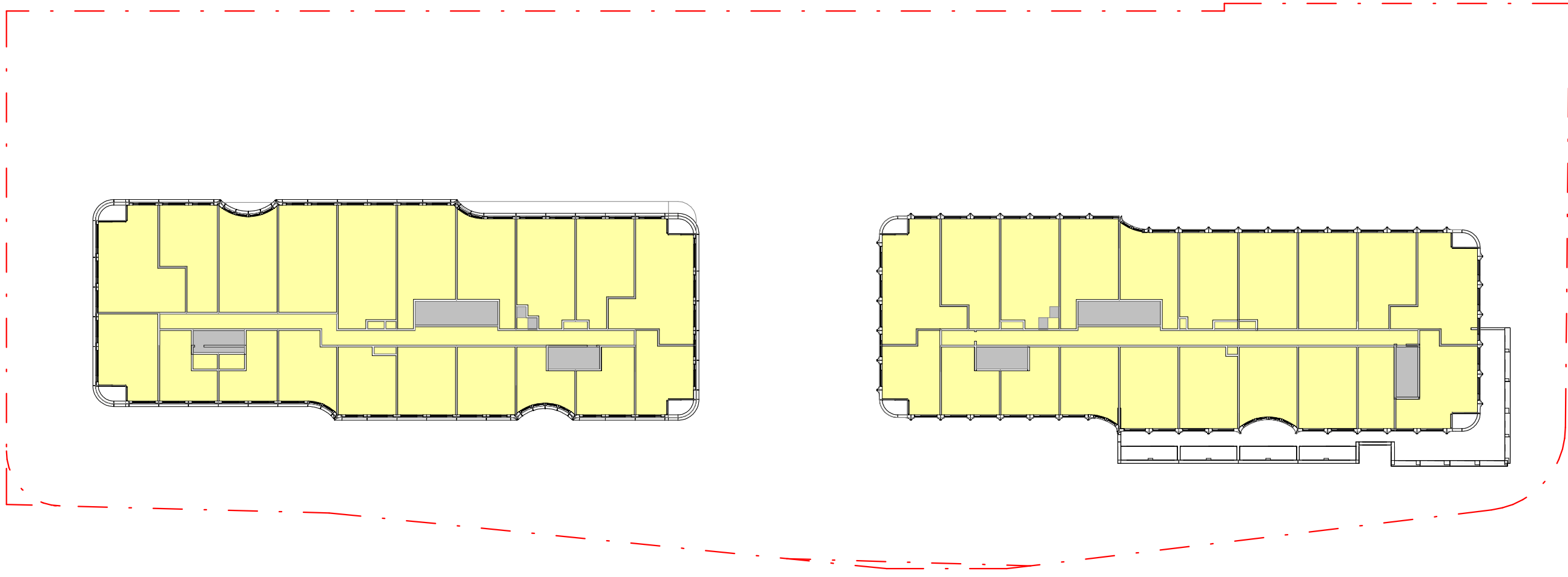
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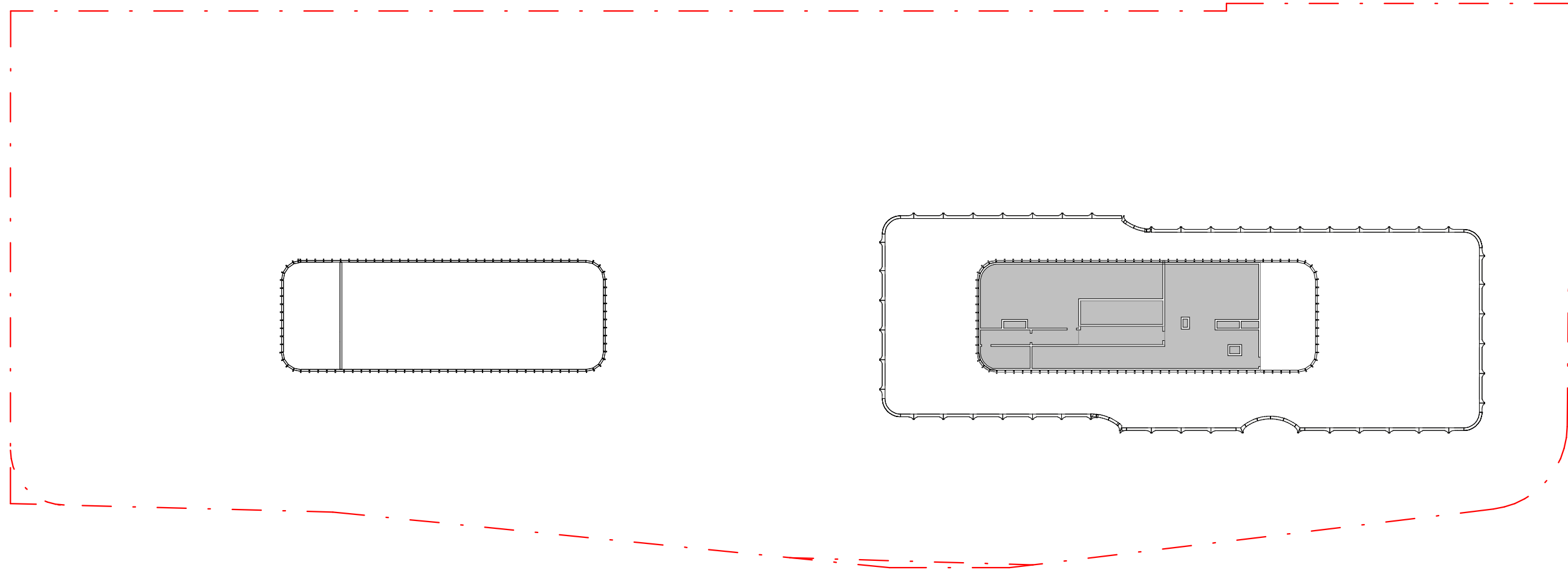
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LEGEND	
	GFA BY-LAW 569-2013
	GFA EXCLUSIONS BY-LAW 569-2013
	PROPERTY BOUNDARY

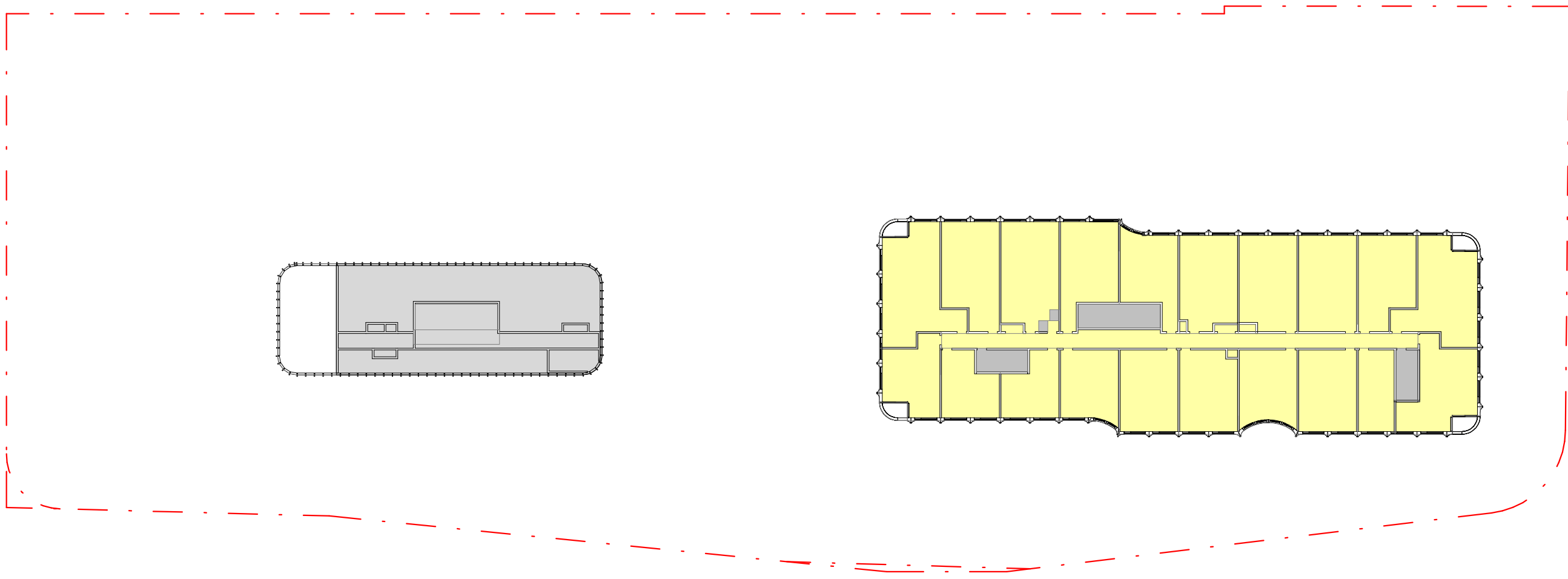
BY-LAW 569-2013
GROSS FLOOR AREA CALCULATIONS FOR A MIXED-USE BUILDING
IN THE COMMERCIAL RESIDENTIAL ZONE CATEGORY
In the Commercial Residential Zone category the gross floor area of a mixed use building is reduced by the area in the building used for:
A. parking, loading and bicycle parking below ground;
B. required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
C. storage rooms, mechanical, electrical, utility, mechanical and ventilation rooms in the basement;
D. showers and change facilities required by the By-law for required bicycle parking spaces;
E. emergency spaces required by the By-law;
F. elevator shafts;
G. garbage chutes;
H. mechanical penthouses; and
I. roof stairwells in the building.



106-M, Typical
1:500

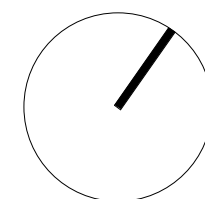


106-M, Typical
1:500



106-M, Typical
1:500

1	2025.12.12	ISSUED FOR ZBA
No.	Date	Issue/Revision



5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
ZBL - 569-2013 Area
Plans

Project No. 2413	Scale	As indicated
Drawing No.		

A 003



PERSPECTIVE VIEW - LOOKING NORTH EAST ACROSS DUNDAS ST. W




PERSPECTIVE VIEW - LOOKING WEST



PERSPECTIVE VIEW - LOOKING NORTH ACROSS DUNDAS ST. W

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1 2025.12.12 ISSUED FOR ZBA	
No.	Date Issue/Revision
	
5500 DUNDAS ST W	
5500 Dundas St W, Etobicoke, ON M9B 1B7	
Title: Perspective Views	
Project No. 2413	Scale
Drawing No. A 009	

NOTES AND STATISTICS

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LEGEND

- PRINCIPAL ENTRY
- VEHICULAR ENTRY/EXIT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- MANHOLE COVER
- CATCH BASIN
- HYDRO POLE
- ELECTRICAL STAND
- EXTENT OF BELOW GRADE
- BUILDING ELEMENT ABOVE
- OPEN TO BELOW
- EXTENT OF GROUND FLOOR
- 60X180mm BICYCLE PARKING SPACE
- GEODETIC ELEVATION
- ELEVATION FROM ESTABLISHED GRADE
- EXISTING GRADE ELEVATION
- PROPERTY LINE
- FFE FINISHED FLOOR ELEVATION
- TOP TOP OF PARAPET
- TOR TOP OF ROOF
- TOS TOP OF STRUCTURE
- TGS TORONTO GREEN STANDARDS
- TPZ TREE PROTECTION ZONE

NOTE:
SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART OF LOT 5 CONCESSION 2 AND PART OF LOT 51 REGISTERED PLAN 1973, CITY OF TORONTO BY SPIEGT, VAN NOSTRAND & GIBSON LIMITED DATED MARCH 5, 2018.

- VEGETATION DRIP LINE
- 10M SETBACK FROM VEGETATION DRIP LINE
- LTSTOS (LONG TERM STABLE TOP OF SLOPE) T.B.C.
- 10M SETBACK FROM LTSTOS (LONG TERM STABLE TOP OF SLOPE) T.B.C.

1 2025.12.12 ISSUED FOR ZBA

No. Date Issue/Revision

ONTARIO ASSOCIATION OF ARCHITECTS

5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title: **Site Plan**

Project No. 2413 Scale As indicated Drawing No.

A 050

Green Roof	Provided
Gross Floor Area, as defined in Green Roof Bylaw (m²)	53,208.8 m²
Total Roof Area (m²)	4,788.0 m²
Area of Residential Private Terraces (m²) (Up to Abutting Unit Area)	508.9 m²
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)	1,168.0 m²
Area of Renewable Energy Devices (m²)	0.0 m²
Tower(s) Roof Area with floor plate less than 750m²	N/A
Total Available Roof Space (m²)	3,113.2 m²
Green Roof Coverage	Required
Coverage of Available Roof Space (m²)	1,867.9 m²
Coverage of Available Roof Space (%)	60%

GROSS SITE AREA: 9751.46M²
LESS: 19.56M² (CORNER ROUNDING + 36M R.O.W)
NET SITE AREA: 9731.9 M²

Gross Floor Area, as defined in Green Roof Bylaw.

The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

Definitions.

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

LOADING NOTES

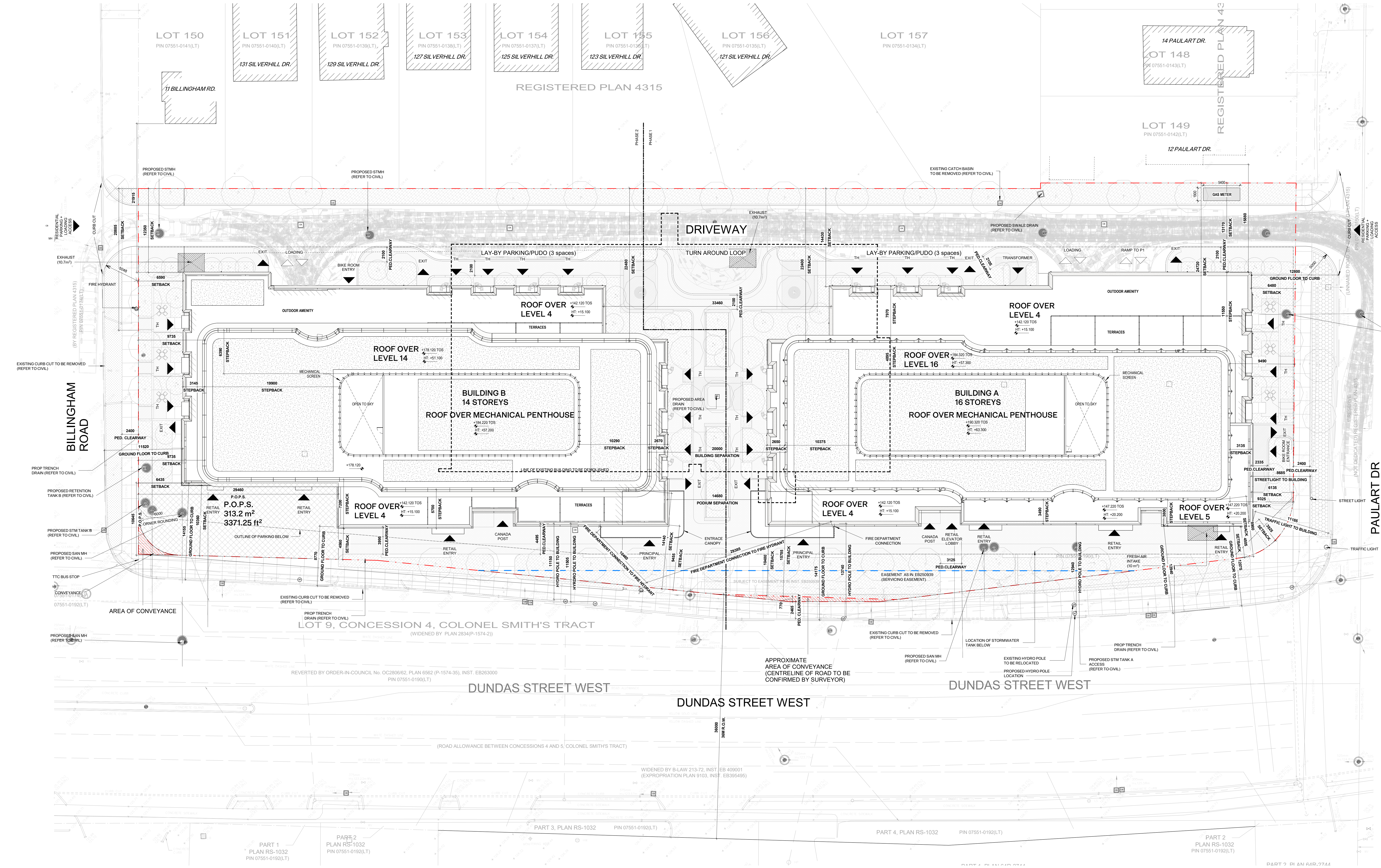
- TYPE G LOADING SPACE AND ADJACENT STAGING PAD HAVE VERTICAL CLEARANCE OF MIN 6.1 METERS.
- OVERHEAD DOOR TO LOADING SPACE WILL HAVE MIN 4.4 METER HEIGHT; 2.1M DEEP STAGING AREA DIRECTLY IN FRONT OF THE LOADING AREA TO HAVE MIN. VERTICAL CLEARANCE OF 6.1M; 30 (BUILDING A) + 28 (BUILDING B) M STAGING AREA FOR THE DEVELOPMENT.
- TYPE G LOADING SPACE WILL BE SHARED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL USES. NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- NON-RESIDENTIAL WASTE WILL BE LABELLED AND STORED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE.
- TYPE G LOADING SPACE WILL BE LEVEL, +/- 2% AND CONSTRUCTED WITH MIN 200mm THICK SACRIFICIAL CONCRETE SLAB.
- A WARNING SYSTEM WILL BE PROVIDED, ALERTING DRIVERS WHEN EXITING THE UNDERGROUND PARKING GARAGE THAT LARGE TRUCKS ARE MANOEUVRING WITHIN THE PUBLIC LANE.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE GARAGE COLLECTION VEHICLE WILL HAVE:
 - a) MAXIMUM GRADE OF 8%.
 - b) MINIMUM VERTICAL CLEARANCE OF 4.4 METRES THROUGHOUT.
 - c) MINIMUM WIDTH OF 4.5 METRES THROUGHOUT, AND
 - d) 6 METRES WIDE AT POINT OF INGRESS AND EGRESS.
- NO PARKING SIGNS TO BE PROVIDED AND MAINTAINED ADJACENT TO THE LOADING SPACE.
- CONSTRUCT ANY TYPE G LOADING SPACE AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO, TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR CITY OF TORONTO BULK LIFT AND REAR BIN LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.
- THE RESIDENTIAL SOLID WASTE ROOM WILL ACCOMMODATE GARABAGE, RECYCLING AND ORGANICS FOR THE RESIDENTIAL COMPONENT OF THE BUILDING VIA USE OF A BISOIRER IN THE DEVELOPMENT.
- BULK WASTE HAS 10m² DESIGNATED FLOOR AREA FOR THE DEVELOPMENT.
- COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE IN AN ENCLOSED LOADING BAY. AN ON-SITE STAFF PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE GARAGE STORAGE SPACE TO THE COLLECTION POINT AND PROVIDE VEHICULAR DIRECTION TO THE COLLECTION VEHICLE OPERATOR AS REQUIRED.
- THIS BUILDING IS DESIGNED WITH A TYPE G LOADING SPACE, A FLASHING WARNING LIGHT SYSTEM AND/OR APPROPRIATE SIGNAGE ADJACENT TO THE SPACE, AT NO COST TO THE CITY, WILL BE IN PLACE AND ACTIVATED DURING COLLECTION AND REMAIN ACTIVE UNTIL THE VEHICLE EXITS THE SITE. REFER TO TRAFFIC CONSULTANT REPORT FOR SWEEP PATH.
- SOLID WASTE MANAGEMENT TO BE NOTIFIED UPON COMPLETION OF THE DEVELOPMENT AND SHOULD PUBLIC WASTE COLLECTION BE USED, ALL NECESSARY APPLICATION AND APPROVALS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REFUSE COLLECTION.
- NON-RESIDENTIAL GARABAGE WILL BE COLLECTED BY LICENSED PRIVATE WASTE MANAGEMENT COMPANY.
- REUSE OR REPAIR BY THE NON-RESIDENTIAL USE MUST BE STORED ON SITE, IN IDENTIFIED CONTAINERS IN ACCORDANCE WITH CHAPTER 841 OF THE MUNICIPAL CODE, "WASTE COLLECTION AND DISPOSAL".
- ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DATE.
- FOR SPECIFIC TRUCK DIMENSIONS AND TURNING RADIUS, REFER TO TRAFFIC CONSULTANT'S REPORT.

SITE PLAN NOTES

- THE BUILDING IS TO BE SPRINKLERED.
- RESIDENTIAL VISITOR PARKING SPACES WILL BE INDIVIDUALLY SIGNED AT THE FRONT OF EACH SPACE FOR THE USE OF RESIDENTIAL VISITORS. BUILDING MANAGEMENT SHALL PROVIDE ENFORCEMENT OF THIS ARRANGEMENT.
- SIDEWALKS AND BOULEVARDS WITHIN THE RIGHT OF WAY TO HAVE A MINIMUM 1% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.
- REFER TO SITE SERVISING DOCUMENTS FOR SEWER AND WATER SERVICE INFORMATION.
- ANY RETAINING WALLS ARE TO BE PROFESSIONALLY ENGINEERED.
- ALL EXISTING ACCESSORIES, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE RENOVATED.
- PROPOSED ACCESS TO THE RIGHT-OF-WAY/LANEWAY FOR THIS PROJECT TO BE DESIGNED IN ACCORDANCE WITH CITY STANDARD NO. 10.01.01 FOR COMMERCIAL CURB CUTS AND VEHICULAR ENTRIES.
- NO SPEED BUMPS SHALL BE INSTALLED ON ANY DESIGNATED FIRE ROUTE.
- MAX. POROSITY OF ALL GROUND LEVEL VENTILATION GRATES MUST BE 20mm X 20mm PER TORONTO GREEN STANDARDS.
- ALL EXTERIOR LIGHT FIXTURES TO BE DARK SKY COMPLIANT.

UTILITY/SERVICES NOTES

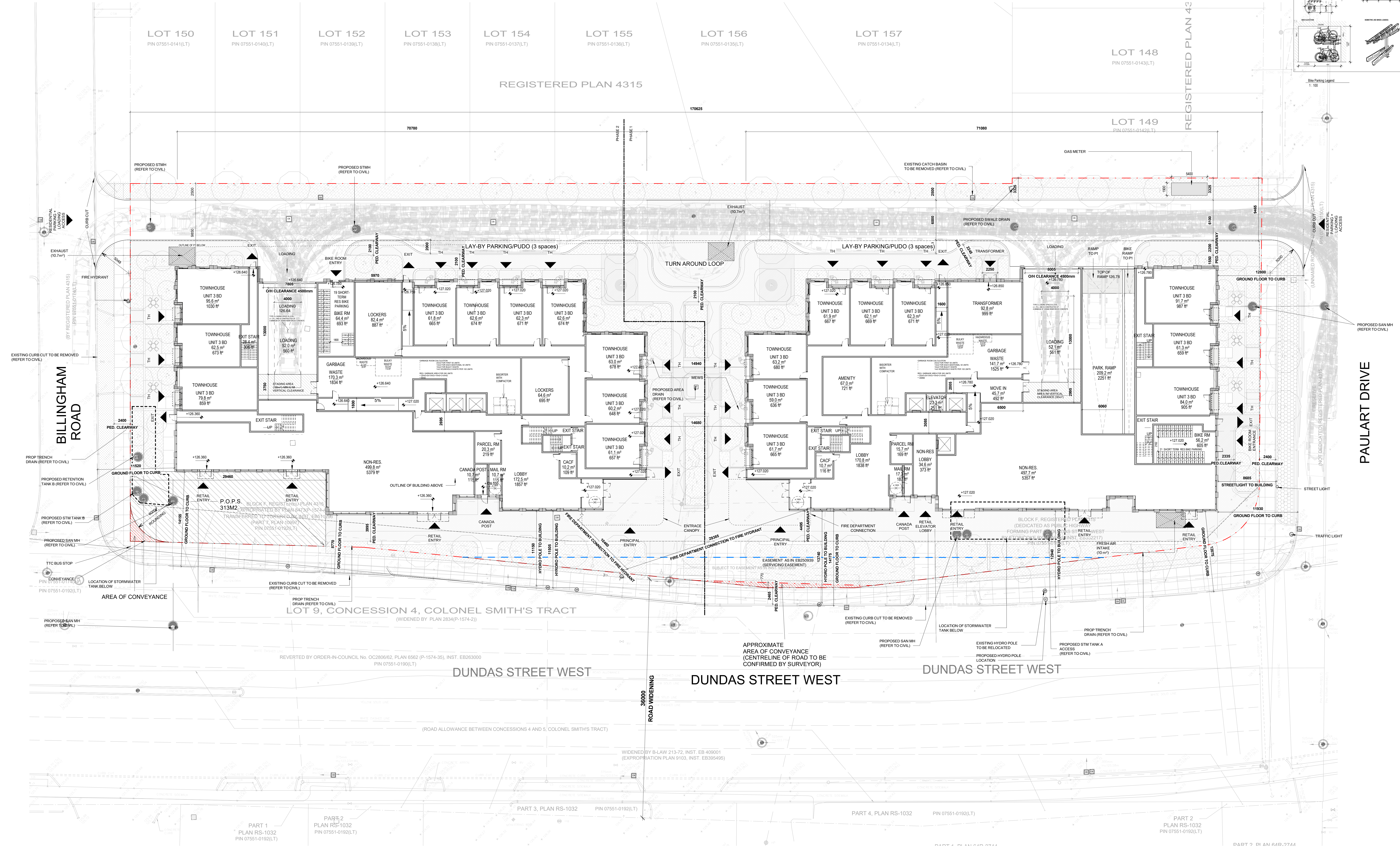
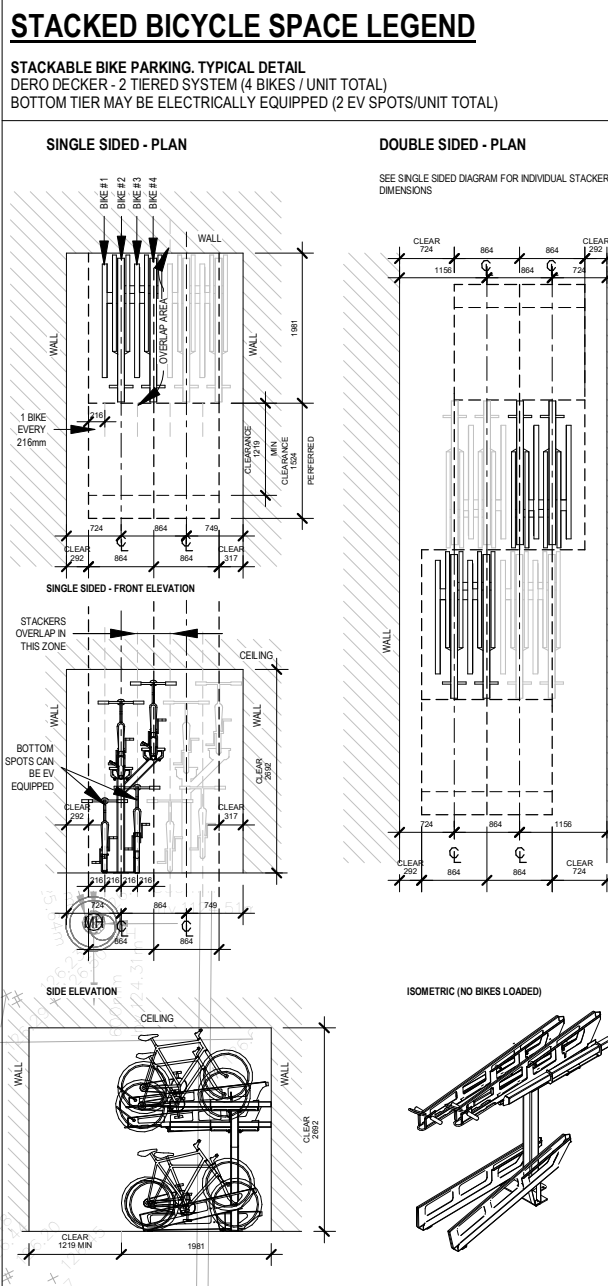
- THE METHOD OF INSTALLATION FOR THE PROPOSED SERVICE CONNECTIONS WILL BE AT THE DISCRETION OF TORONTO WATER.
- EXISTING CONNECTIONS NO LONGER IN USE SHALL BE DISCONNECTED BY TORONTO WATER AT THE OWNERS COST.
- THE LOCATION OF THE WATER METER SHALL BE TO TORONTO WATER'S SATISFACTION.
- THE OWNER IS REQUIRED TO INSTALL AND MAINTAIN A PREMISE ISOLATION DEVICE FOR ALL APPLICABLE WATER SERVICES IN ACCORDANCE WITH THE TORONTO MUNICIPAL CODE, CHAPTER 851 WATER SUPPLY, THE BUILDING CODE AND CSA 864 SERIES STANDARDS.
- THE BUILDING'S STORM AND SANITARY SYSTEM MUST BE DESIGNED TO BE ABLE TO OPERATE UNDER MUNICIPAL SURCHARGE CONDITIONS.
- THE OWNER THAT SHOULD ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.



Site Plan
1 - 00

GROSS SITE AREA: 9751.46M²
LESS: 19.56M² (CORNER ROUNDING + 36M R.O.W)
NET SITE AREA: 9731.9 M²

- LOADING NOTES**
1. TYPE G LOADING SPACE AND ADJACENT STAGING PAD HAVE VERTICAL CLEARANCE OF MIN 6.1 METERS.
 2. OVERHEAD DOOR TO LOADING SPACE WILL HAVE MIN 4.4 METERS HEIGHT. 2.1M DEEP STAGING AREA DIRECTLY IN FRONT OF THE LOADING AREA TO HAVE MIN VERTICAL CLEARANCE OF 6.1M. 30 (BUILDING A) + 26 (BUILDING B) SQ M STAGING AREA FOR THE DEVELOPMENT.
 3. TYPE G LOADING SPACE WILL BE SHARED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL COMPONENTS. NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
 4. NON-RESIDENTIAL WASTE WILL BE LABELLED AND STORED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE.
 5. TYPE G LOADING SPACE WILL BE LEVEL (+/- 2%) AND CONSTRUCTED WITH MIN 200MM THICK SACRIFICIAL CONCRETE SLAB.
 6. A WARNING SYSTEM WILL BE PROVIDED, ALERTING DRIVERS WHEN EXITING THE UNDERGROUND PARKING GARAGE THAT LARGE TRUCKS ARE MANEUVERING WITHIN THE PUBLIC LANE.
 7. ALL ACCESS DRIVEWAYS TO BE USED BY THE GARBAGE COLLECTION VEHICLE WILL HAVE:
 - a) MAXIMUM GRADIENT OF 8%.
 - b) MINIMUM VERTICAL CLEARANCE OF 4.4 METRES THROUGHOUT.
 - c) MINIMUM WIDTH OF 4.5 METRES THROUGHOUT.
 - d) 6 METRES WIDE AT POINT OF INGRESS AND EGRESS.
 - e) NO PARKING SIGNS TO BE PROVIDED AND MAINTAINED ADJACENT TO THE LOADING SPACE.
 - f) NO PARKING SIGNS TO BE PROVIDED AND MAINTAINED ADJACENT TO THE LOADING SPACE.
 - g) CONSTRUCT ANY TYPE G LOADING SPACE AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO, TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR CITY OF TORONTO'S BLANK LIFT AND REAR BIN LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.
 - h) THE RESIDENTIAL SOLID WASTE ROOM WILL ACCOMMODATE GARBAGE, RECYCLING AND ORGANICS FOR THE RESIDENTIAL COMPONENT OF THE BUILDING VIA USE OF A BORTER IN THE DEVELOPMENT.
 - i) BULK WASTE HAS THIS DESIGNATED FLOOR AREA FOR THE DEVELOPMENT.
 - j) COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE IN AN ENCLOSED LOADING BAY. AN ON-SITE STAFF PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE GARBAGE STORAGE SPACE TO THE COLLECTION POINT AND PROVIDE VEHICLE ACCESS TO THE COLLECTION VEHICLE OPERATOR (AS REQUIRED).
 - k) THIS BUILDING IS DESIGNED WITH A TYPE G LOADING SPACE A FLASHING WARNING LIGHT SYSTEM AND/OR APPROPRIATE SIGNAGE ADJACENT TO THE SPACE, AT NO COST TO THE CITY. WILL BE IN PLACE AND ACTIVATED DURING COLLECTION AND REMAIN ACTIVE UNTIL THE VEHICLE EXITS THE SITE. REFER TO TRAFFIC CONSULTANT REPORT FOR EXACT PAV.
 - l) SOLID WASTE MANAGEMENT TO BE NOTIFIED UPON COMPLETION OF THE DEVELOPMENT AND SHOULD PUBLIC WASTE COLLECTION BE USED, ALL NECESSARY APPLICATION AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REUSE COLLECTION.
 - m) NON-RESIDENTIAL GARBAGE WILL BE COLLECTED BY LICENSED PRIVATE WASTE MANAGEMENT COMPANY.
 - n) REFUSE GENERATED BY THE NON-RESIDENTIAL USE MUST BE STORED ON SITE, IN ROCKET PROOF CONTAINERS IN ACCORDANCE WITH CHAPTER 841 OF THE MUNICIPAL CODE "WASTE COLLECTION".
 - o) TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DATE. FOR SPECIFIC TRUCK DIMENSIONS AND TURNING RADII, REFER TO TRAFFIC CONSULTANT'S REPORT.



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1 2025.12.12 ISSUED FOR ZBA

No. Date Issue/Revision

ONTARIO ASSOCIATION OF ARCHITECTS

5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
Floor Plan - Ground Floor

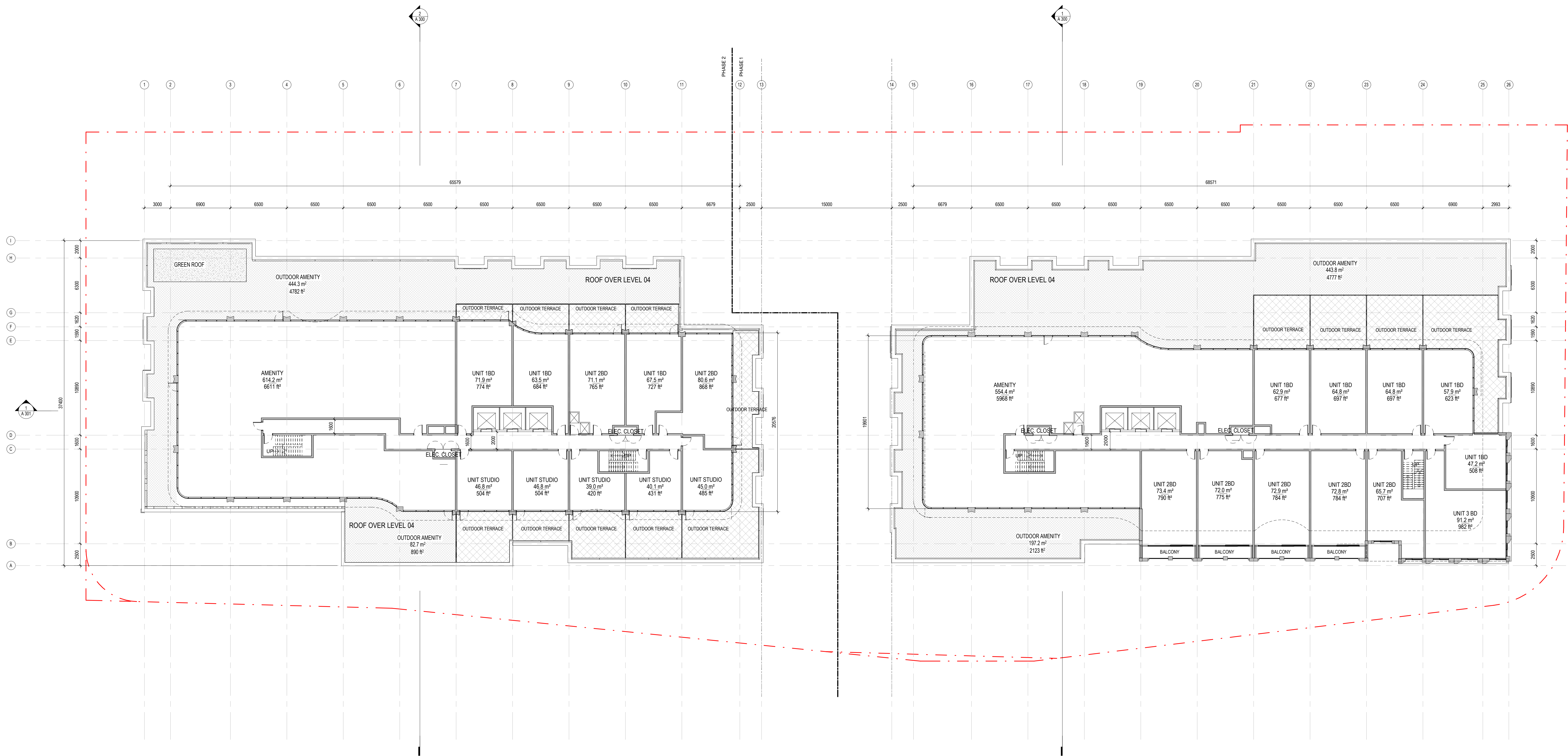
Project No. 2413 Scale As indicated

Drawing No.

A 102







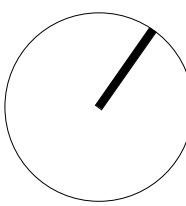
Amenity Space	Required	Provided	Location
Indoor Amenity			
2.0 m² per unit	600	554.42	5
(2.0 * 300)		67.01	GROUND
		0.00	
Total Indoor Amenity		621.43	m²
Outdoor Amenity			
2.0 m² per unit	600	641.04	5
(2.0 * 300)		0.00	
Total Outdoor Amenity		641.04	m²
Total Amenity Space	1,200.00	1,262.48	m²

Amenity Space	Required	Provided	Location
Indoor Amenity			
2.0 m² per unit	520	614.15	5
(2.0 * 260)		0.00	
		0.00	
Total Indoor Amenity		614.15	m²
Outdoor Amenity			
2.0 m² per unit	520	526.97	5
(2.0 * 260)		0.00	
Total Outdoor Amenity		526.97	m²
Total Amenity Space	1,040.00	1,141.12	m²

1/4" = 1 inch (A)
1:200

1 2025.12.12 ISSUED FOR 2BA

No. Date Issue/Revision



5500 DUNDAS ST W

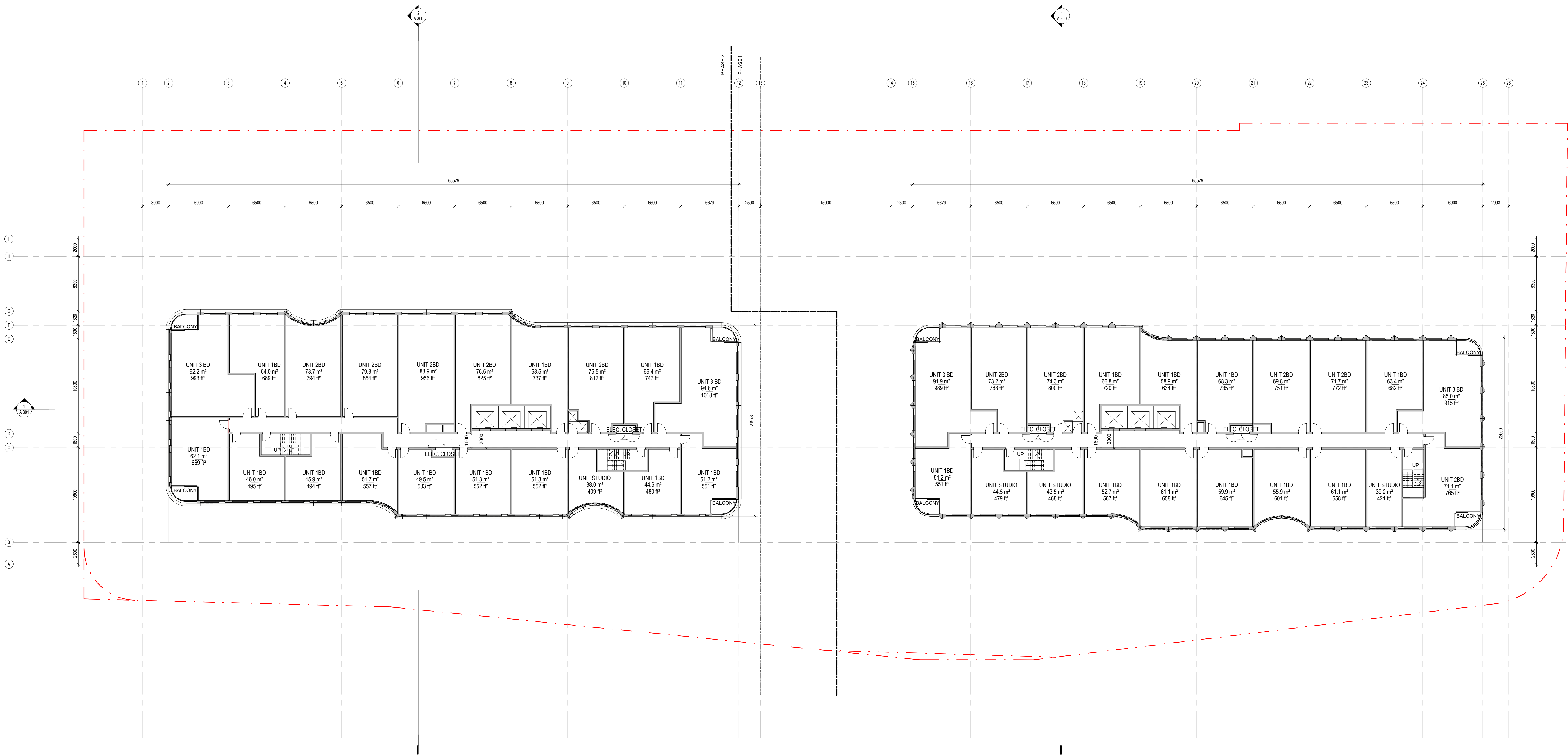
5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
Floor Plan - Level
05/Amenity

Project No. 2413 Scale 1:200

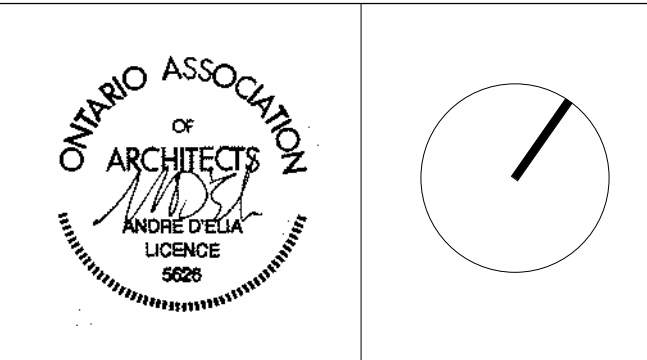
Drawing No.

A 105



1/2" = Typical 35'-14"
1:200

1	2025.12.12	ISSUED FOR ZBA
No.	Date	Issue/Revision



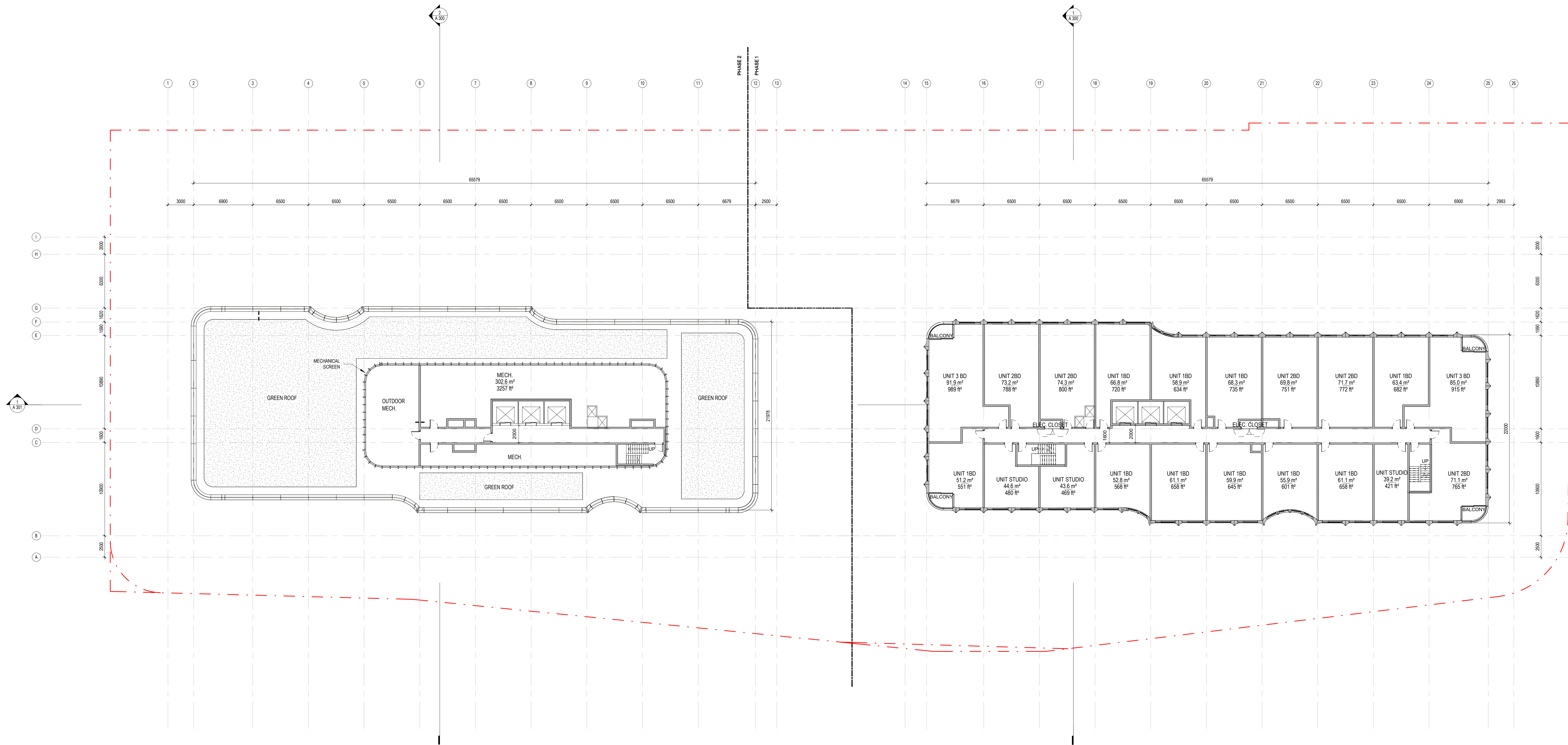
5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
Floor Plan - Level 06-14

Project No. 2413	Scale	1:200
Drawing No.		

A 106



MPH WEST
1:200

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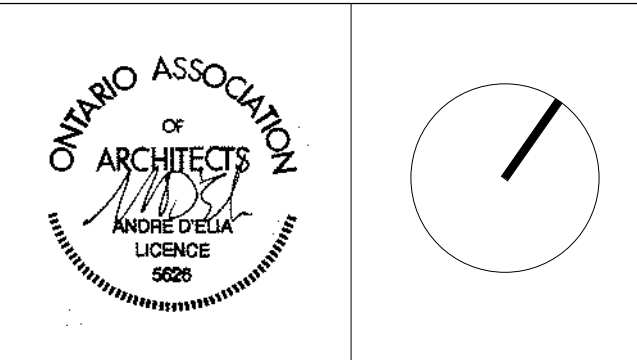
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No.	Date	Issue/Revision
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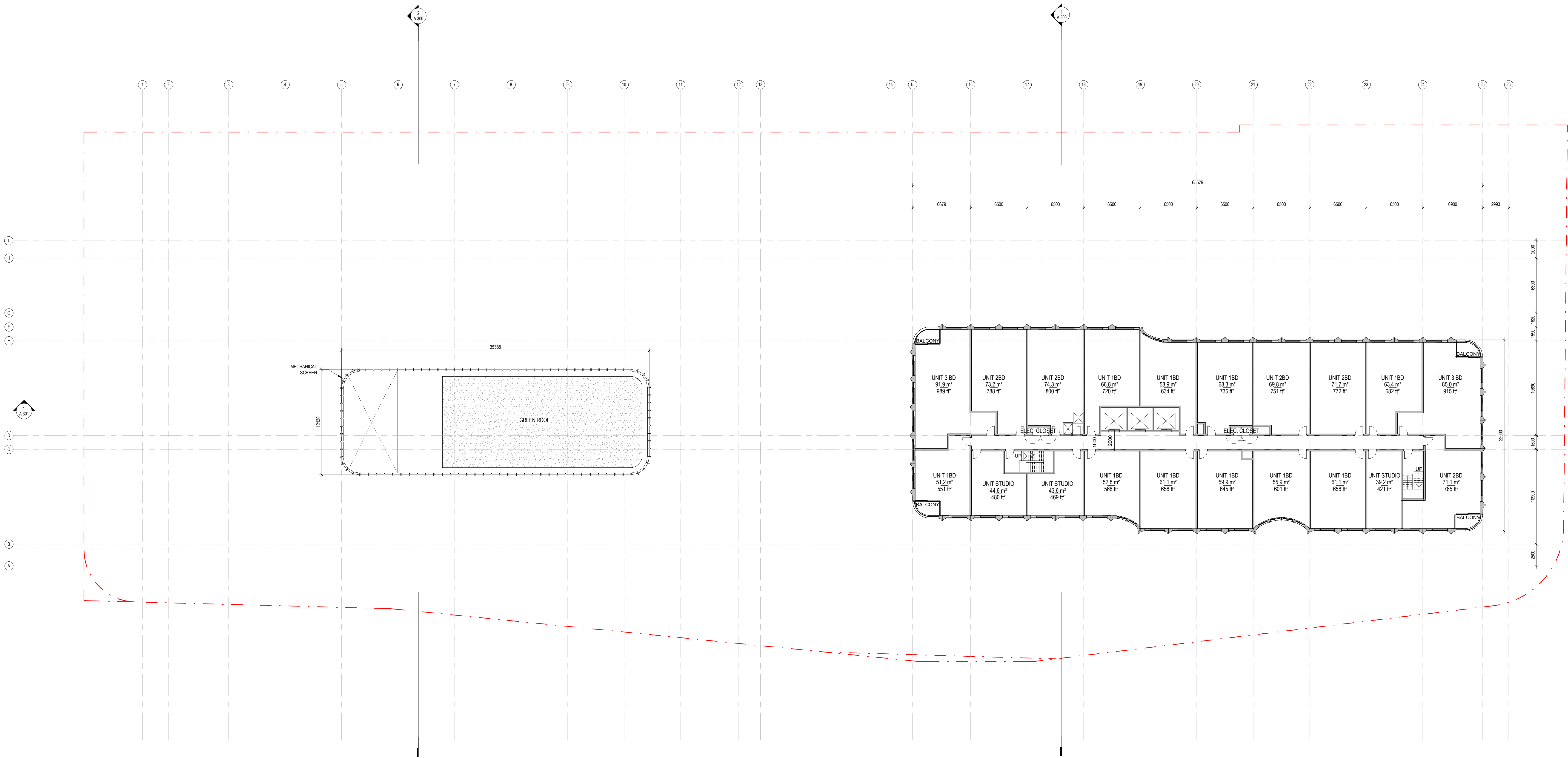
5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

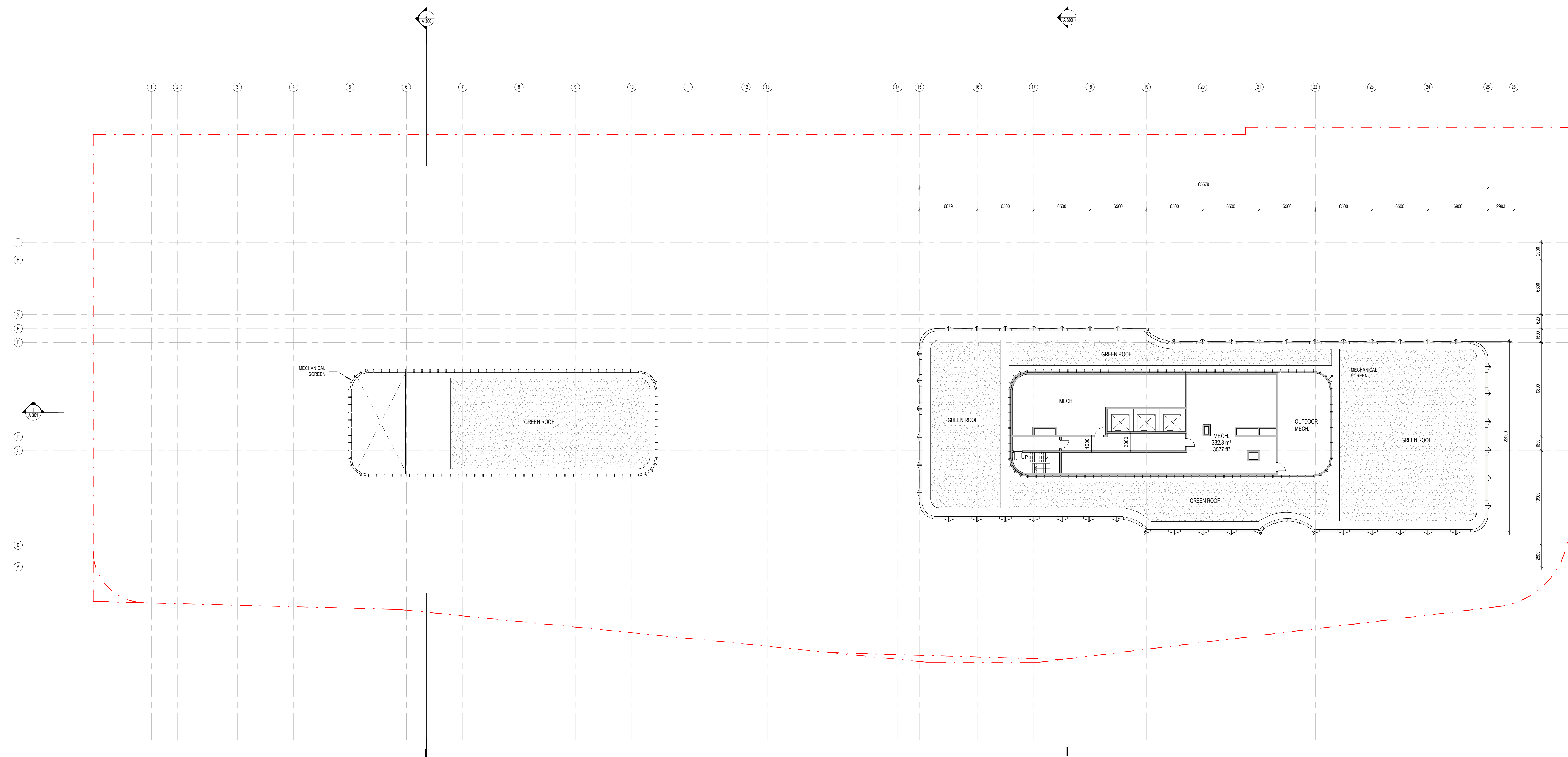
Title:
Floor Plan - West MPH/
Level 15

Project No. 2413	Scale	1 : 200
Drawing No.		

A 107



L16-F16T
1/200



Green Roof	Provided	
Gross Floor Area, as defined in Green Roof Bylaw (m²)	53,208.8 m²	
Total Roof Area (m²)	4,788.0 m²	
Area of Residential Private Terraces (m²) [Up to Abutting Unit Area]	506.8 m²	
Roof-top Outdoor Amenity Space, if in a Residential Building (m²)	1,168.0 m²	
Area of Renewable Energy Devices (m2)	0.0 m²	
Tower(s) Roof Area with floor plate less than 750m²	N/A	
Total Available Roof Space (m²)	3,113.2 m²	
Green Roof Coverage	Required	Provided
Coverage of Available Roof Space (m²)	1,867.9 m²	1,935.5 m²
Coverage of Available Roof Space (%)	60%	62%

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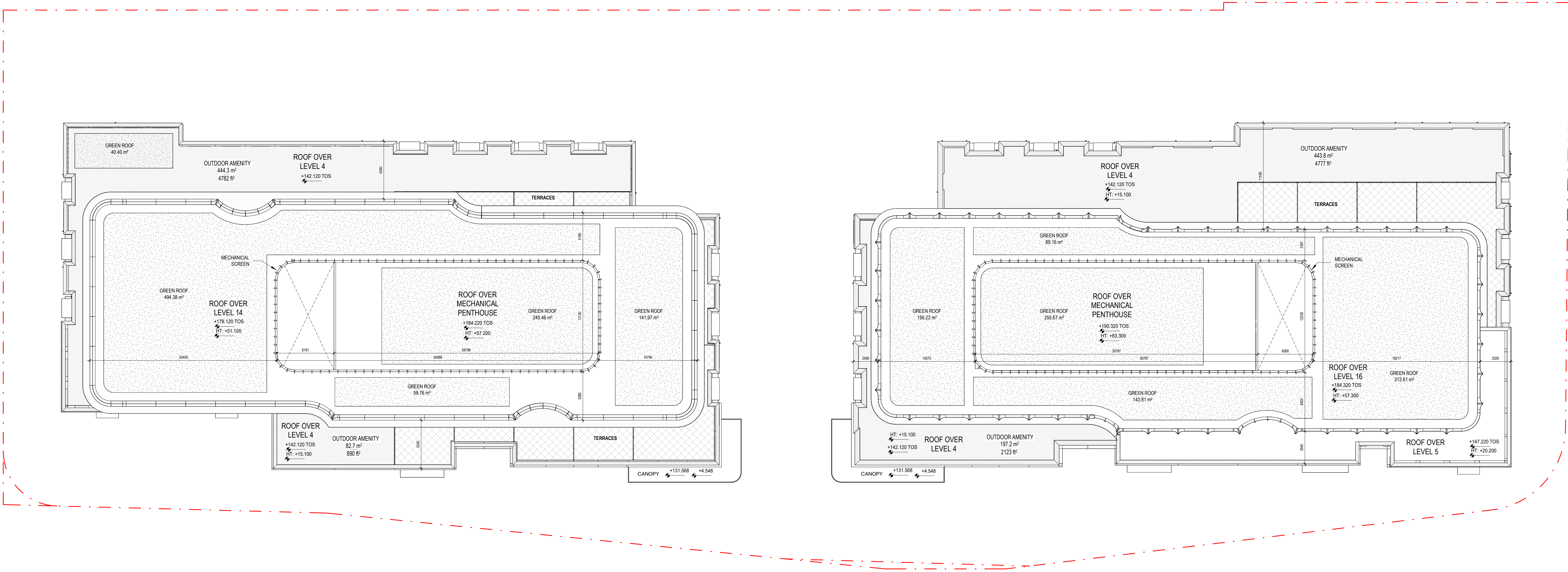
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ROOF PLAN LEGEND

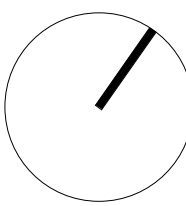
- GREEN ROOF
- TERRACES
- OUTDOOR AMENITY



ROOF PLAN
1:200

1 2025.12.12 ISSUED FOR ZBA

No. Date Issue/Revision



5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
Roof Plan

Project No. 2413 Scale As indicated
Drawing No.

A 110

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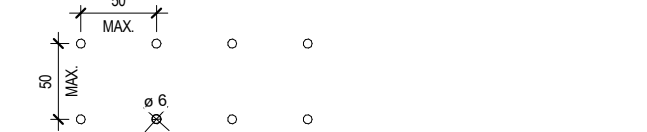
MATERIAL LEGEND

TAG	MATERIAL
AL-1	ALUMINUM ANODIZED DARK BROWN FINISH
AL-2	ALUMINUM PAINTED LIGHT GREY FINISH
BR1A	BRICK MASONRY, RUNNING BOND, LIGHT SENNA IRONSPOT
BR1B	BRICK MASONRY, STACKED BOND, LIGHT SENNA IRONSPOT
BR1C	BRICK MASONRY, VERTICAL STACKED BOND, LIGHT SENNA IRONSPOT
BR2A	BRICK MASONRY, RUNNING BOND, PLUM IRONSPOT
BR2B	BRICK MASONRY, VERTICAL STACKED BOND, PLUM IRONSPOT
BR2C	BRICK MASONRY, RUNNING BOND, GREY
BR3A	BRICK MASONRY, STACKED BOND, GREY
BR3B	BRICK MASONRY, VERTICAL STACKED BOND, GREY
GL-1	GLAZING, VISION
GL-3	GLAZING, VISION W/ BIRD-FRIENDLY FRIT
LC-1	ALUMINUM ANODIZED DARK BROWN FINISH
PC-1	PRECAST CONCRETE, PIGMENTED, WARM
PC-2	PRECAST CONCRETE, SANDBLASTED, PIGMENTED, WARM
PC-3	PRECAST CONCRETE, FLUTED, SANDBLASTED, PIGMENTED, WARM
PC-4	PRECAST CONCRETE, FLUTED, PIGMENTED, BUFF

WINDOW LEGEND

GL-1
GL-3

TYP. BIRD FRIENDLY FRIT PATTERN



NOTES:

- ALL EXTERIOR LIGHT FIXTURES WILL BE DARK SKY COMPLIANT, DIRECTED DOWNWARD, AND DESIGNED TO PREVENT GLARE AND LIGHT TRESPASS ONTO NEIGHBOURING PROPERTIES.
- ALL GLAZING TO COMPLY WITH CITY OF TORONTO BIRD-FRIENDLY DESIGN GUIDELINES
- BIRD-FRIENDLY GLAZING TO BE PROVIDED 0-16 ABOVE GRADE AND 0-4M ABOVE FOOT TOP, VEGETATION FOR EXTERIOR GLASS AND BALCONY RAILINGS.



1 2025.12.12 ISSUED FOR ZBA

No. Date Issue/Revision



5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
North Elevation

Project No. 2413 Scale As indicated

Drawing No.

A 200

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Prior to commencement of the Work the Contractor shall verify all drawing dimensions, details, and levels with the Contract Documents and with the conditions on site, ascertain any discrepancies between this site and the Contract Documents, and bring these items to the attention of the Architect for clarification.

superk inc.

101 - 35 Golden Avenue
Toronto, ON M8R 2J5

T: 416.596.0700
F: 416.533.6986
www.superk.ca

MATERIAL LEGEND	
TAG	MATERIAL
AL-1	ALUMINUM ANODIZED DARK BROWN FINISH
AL-2	ALUMINUM PAINTED, LIGHT GREY FINISH
BR-1a	BRICK MASONRY, RUNNING BOND, LIGHT SENNA IRONSPOT
BR-1b	BRICK MASONRY, STACKED BOND, LIGHT SENNA IRONSPOT
BR-1c	BRICK MASONRY, VERTICAL STACKED BOND, LIGHT SENNA IRONSPOT
BR-2a	BRICK MASONRY, RUNNING BOND, PLUM IRONSPOT
BR-2b	BRICK MASONRY, VERTICAL STACKED BOND, PLUM IRONSPOT
BR-2c	BRICK MASONRY, RUNNING BOND, GREY
BR-2d	BRICK MASONRY, STACKED BOND, GREY
BR-2e	BRICK MASONRY, VERTICAL STACKED BOND, GREY
GL-1	GLAZING, VISION
GL-3	GLAZING, VISION w/ BIRD-FRIENDLY FRIT
LV-1	ALUMINUM ANODIZED DARK BROWN FINISH
PC-1	PRECAST CONCRETE, PIGMENTED, WARM
PC-2	PRECAST CONCRETE, SANDBLASTED, PIGMENTED, WARM
PC-3	PRECAST CONCRETE, FLUTED, SANDBLASTED, PIGMENTED, WARM
PC-4	PRECAST CONCRETE, FLUTED, PIGMENTED, BUFF

WINDOW LEGEND	
GL-1	
GL-3	

TYP. BIRD FRIENDLY FRIT PATTERN

- NOTES:
- ALL EXTERIOR LIGHT FIXTURES WILL BE DARK SKY COMPLIANT, DIRECTED DOWNWARD, AND DESIGNED TO PREVENT GLARE AND LIGHT TRESPASS ONTO NEIGHBOURING PROPERTIES.
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South Elevation
1:200

Bill of Materials - Wall Sizing	
Item	Quantity
Brickwork (Area 1)	10000
Brickwork (Area 2)	10000
Brickwork (Area 3)	10000
Brickwork (Area 4)	10000
Brickwork (Area 5)	10000
Brickwork (Area 6)	10000
Brickwork (Area 7)	10000
Brickwork (Area 8)	10000
Brickwork (Area 9)	10000
Brickwork (Area 10)	10000
Brickwork (Area 11)	10000
Brickwork (Area 12)	10000
Brickwork (Area 13)	10000
Brickwork (Area 14)	10000
Brickwork (Area 15)	10000
Brickwork (Area 16)	10000
Brickwork (Area 17)	10000
Brickwork (Area 18)	10000
Brickwork (Area 19)	10000
Brickwork (Area 20)	10000
Brickwork (Area 21)	10000
Brickwork (Area 22)	10000
Brickwork (Area 23)	10000
Brickwork (Area 24)	10000
Brickwork (Area 25)	10000
Brickwork (Area 26)	10000
Brickwork (Area 27)	10000
Brickwork (Area 28)	10000
Brickwork (Area 29)	10000
Brickwork (Area 30)	10000
Brickwork (Area 31)	10000
Brickwork (Area 32)	10000
Brickwork (Area 33)	10000
Brickwork (Area 34)	10000
Brickwork (Area 35)	10000
Brickwork (Area 36)	10000
Brickwork (Area 37)	10000
Brickwork (Area 38)	10000
Brickwork (Area 39)	10000
Brickwork (Area 40)	10000
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Brickwork (Area 44)	10000
Brickwork (Area 45)	10000
Brickwork (Area 46)	10000
Brickwork (Area 47)	10000
Brickwork (Area 48)	10000
Brickwork (Area 49)	10000
Brickwork (Area 50)	10000
Brickwork (Area 51)	10000
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Brickwork (Area 82)	10000
Brickwork (Area 83)	10000
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Brickwork (Area 87)	10000
Brickwork (Area 88)	10000
Brickwork (Area 89)	10000
Brickwork (Area 90)	10000
Brickwork (Area 91)	10000
Brickwork (Area 92)	10000
Brickwork (Area 93)	10000
Brickwork (Area 94)	10000
Brickwork (Area 95)	10000
Brickwork (Area 96)	10000
Brickwork (Area 97)	10000
Brickwork (Area 98)	10000
Brickwork (Area 99)	10000
Brickwork (Area 100)	10000

5500 DUNDAS ST W

5500 Dundas St W, Etobicoke, ON M9B 1B7

Title:
South Elevations

Project No. 2413 Scale As indicated
Drawing No.

A 201

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MATERIAL LEGEND	
TAG	MATERIAL
AL-1	ALUMINUM, ANODIZED, DARK BROWN FINISH
AL-2	ALUMINUM, PAINTED, LIGHT GREY FINISH
BR1a	BROOK MASONRY, RUNNING BOND, LIGHT SENNA SPONGE
BR1b	BROOK MASONRY, RUNNING BOND, LIGHT SENNA SPONGE
BR1c	BROOK MASONRY, STACKEED BOND, LIGHT SENNA
BR1d	BROOK MASONRY, STACKEED BOND, GREY
BR2a	BROOK MASONRY, RUNNING BOND, PLUM RUMSPOT
BR2b	BROOK MASONRY, STACKEED BOND, PLUM RUMSPOT
BR2c	BROOK MASONRY, STACKEED BOND, GREY
BR2d	BROOK MASONRY, STACKEED BOND, GREY
GL-1	GLAZING, VISION W/ BROOK-FRIENDLY FRIT
GL-3	GLAZING, VISION W/ BROOK-FRIENDLY FRIT
AL-1	ALUMINUM, ANODIZED, DARK BROWN FINISH
PC-1	PRECAST CONCRETE, SANDBLASTED, PIGMENTED, WARM
PC-2	PRECAST CONCRETE, FLUTED, SANDBLASTED, PIGMENTED, WARM
PC-4	PRECAST CONCRETE, FLUTED, PIGMENTED, BUFF

GL-1

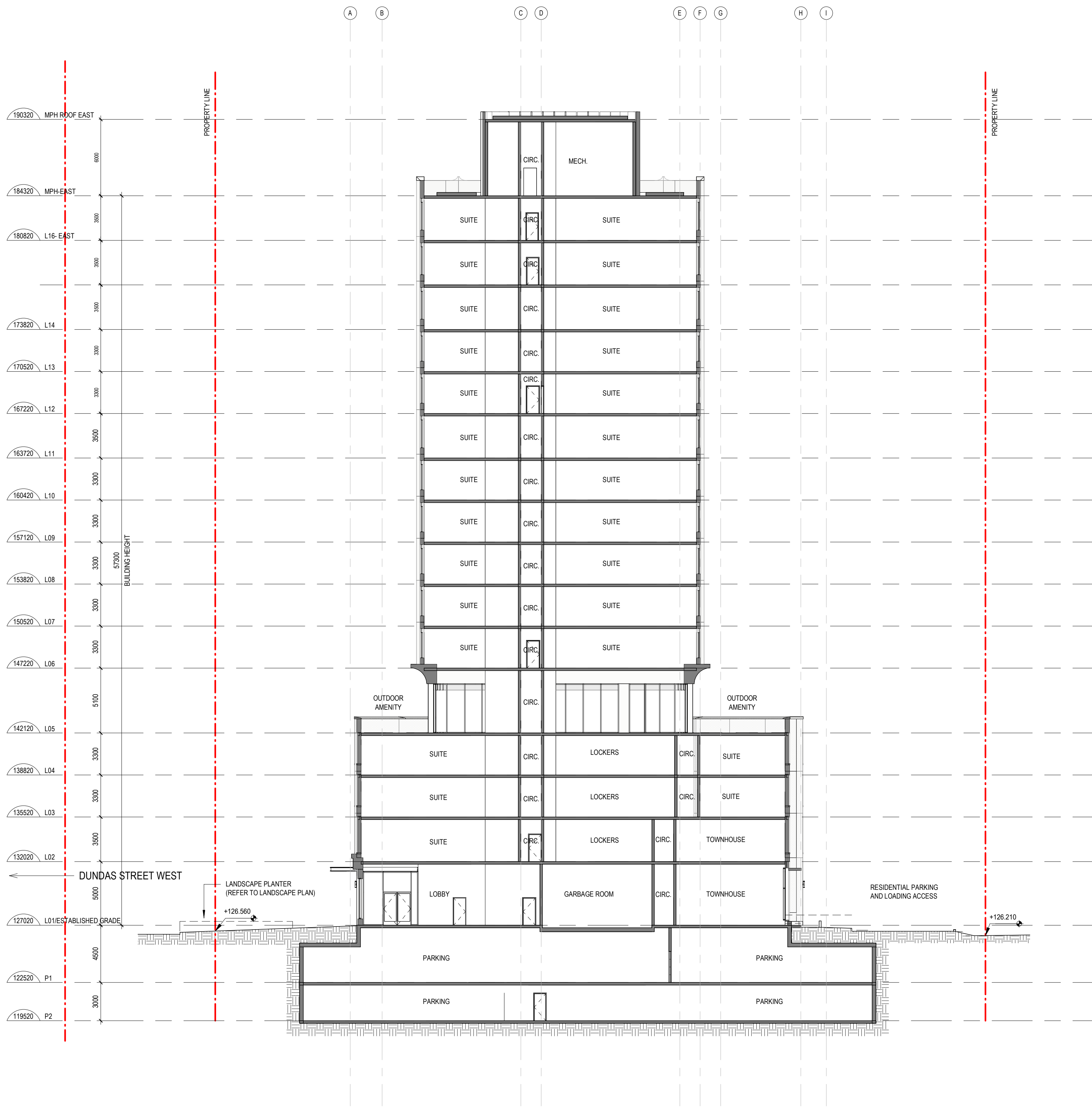
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[illegible]

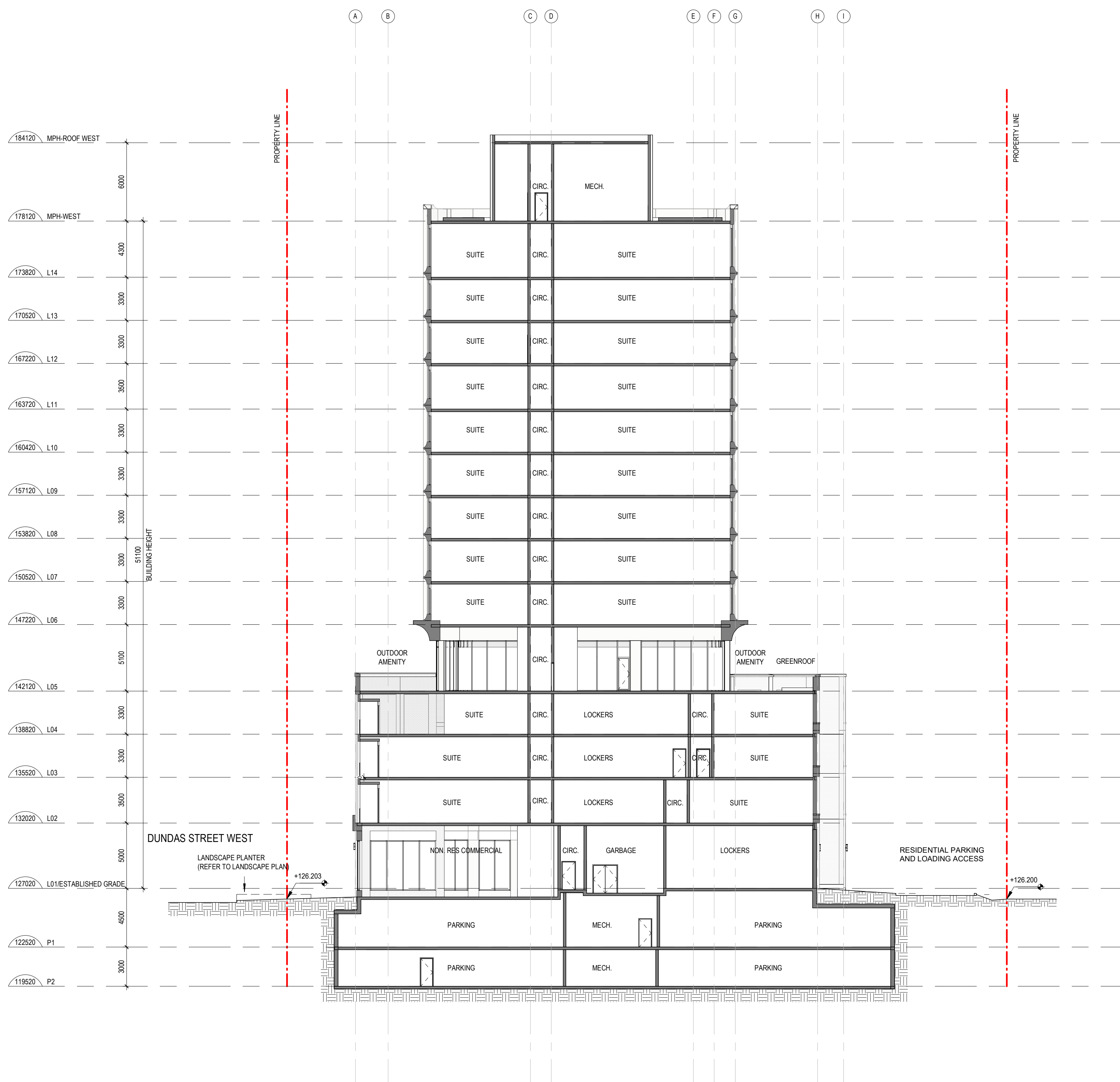
Title:
East + West Elevation

Drawing No.

A 202



N.S. - Building & Major
1 : 200



N.S. - Building & Major
1 : 200

